

Application for Site Plan Approval for Major Projects

Under

City of Northampton Zoning Ordinance Chapter 350 Section 11.3 – Projects Requiring Site Plan
Approval as Major Projects

Application, Narrative, & Supporting Documents

Proposed Residential Development

29 Sherman Avenue
Northampton, MA 01060
(Parcel ID: 25A-099-001)

Submitted To:

City of Northampton Planning Board
City Hall
210 Main Street, Room 11
Northampton, MA 01060

Applicant & Property Owner:

Sovereign Builders Inc. c/o Todd Cellura
710 Southampton Road
Westfield, MA 01085

September 14, 2021

RLA Project File #: 210226

R LEVESQUE ASSOCIATES, INC
A LAND PLANNING SERVICES COMPANY

40 School Street, Westfield, MA 01085

p 413.568.0985 · f 413.568.0986 · www.rlaland.com



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SITE PLAN APPROVAL FOR MAJOR PROJECTS
PROPOSED RESIDENTIAL DEVELOPMENT
29 SHERMAN AVENUE
NORTHAMPTON, MA 01060
(PARCEL ID: 25A-099-001)

TITLE PAGE

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PROPOSED RESIDENTIAL DEVELOPMENT SITE PLANS,
PREPARED FOR SOVEREIGN BUILDERS INC. C/O MR. TODD CELLURA
BY R LEVESQUE ASSOCIATES, INC. DATED SEPTEMBER 10, 2021

PROPOSED BUILDING ELEVATIONS AND FOOTPRINT,
PREPARED FOR 29 SHERMAN AVE, NORTHAMPTON, MA 01060
BY BRUINIER & ASSOCIATES, INC.

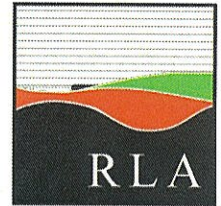
SECTION 1

COVER LETTER

R LEVESQUE ASSOCIATES, INC.

40 School Street, Westfield, MA 01085

p 413.568.0985 · f 413.568.0986 · www.rlaland.com



September 14, 2021

Mr. George Kohout, Chairman
City of Northampton Planning Board
City Hall
210 Main Street, Room 11
Northampton, MA 01060

RE: Site Plan Approval for Major Projects – Proposed Residential Development
29 Sherman Avenue
Northampton, MA 01060
(Parcel ID: 25A-099-001)
RLA Project File No. 210226

Dear Chairman Kohout and Board Members:

On behalf of Sovereign Builders Inc. c/o Mr. Todd Cellura, our office is herein filing an Application for Site Plan Approval for Major Projects to allow for the construction of a proposed five-unit townhouse residential development and associated site improvements at the above-referenced site.

Included herewith, you will find the original and the requisite number of copies of the application form and supplemental documents. A digital copy of the plans has been submitted as required.

We are herein requesting to be placed on the Planning Board's next available agenda. Should you have any questions regarding this application, please do not hesitate to contact our office at your convenience.

Sincerely,
R LEVESQUE ASSOCIATES, INC.

Sofia A. Bitzas, JD
Director of Operations

cc: Sovereign Builders Inc.
tcellura@sovereignbuilders.com

A LAND PLANNING SERVICES COMPANY

SECTION 2

APPLICATION FOR SITE PLAN APPROVAL FOR MAJOR PROJECTS (ELECTRONIC SUBMISSION) & PAYMENT RECEIPT



NORTHAMPTON

Massachusetts

Permit Application

Please note: If this form sits idle for more than 30 minutes, you will have to start over.

A red bar to the left of a field name indicates the field is required.

A green bar indicates the requirement has been fulfilled.

Owner Information

Name	<input type="text" value="Sovereign Builders, Inc. c/o Todd Cellura"/>
Address	<input type="text" value="710 Southampton Road"/>
City	<input type="text" value="Westfield"/>
State	<input type="text" value="MA"/>
Zip	<input type="text" value="01085"/>

Applicant's Information


Same as property owner?	<input checked="" type="checkbox"/>
Is the applicant a City of Northampton government department?	<input type="text"/>
Name	<input type="text"/>
Address	<input type="text"/>
City	<input type="text"/>
State	<input type="text"/>
Zip	<input type="text"/>
Phone	<input type="text"/> <input data-bbox="898 1654 961 1696" type="button" value="?"/>
Email	<input type="text"/>

General Information

To complete the following section you will need the assessor's map-block-lot (##-##-###) and zoning district for all parcels in the project. If this project contains multiple parcels, please separate section-block-lot with semi-colons ";".

Click the following link to look up a map-block-lot number or zoning district:

Click [here](#) to look up a map-block-lot or zoning information

How many lots will this project contain	<input type="text" value="1"/>
Street Number of project	<input type="text" value="29"/>
Street Name of project	<input type="text" value="Sherman Avenue"/>
Choose City and Zip Code where proposed work is located	<input type="text" value="Northampton"/>
Registry of Deeds or Land Court deed book and page number for work location	<input type="text" value="Book 14167, Page 133"/>
Zoning Districts and Overlay Districts for work location	<input type="text" value="Urban Residence B (URB)"/>
Assessors map # for work location	<input type="text" value="25A"/> 
Assessors block # for work location	<input type="text" value="099"/>
Assessors lot # for work location	<input type="text" value="001"/>

Permit Type

What PERMITS or AMENDMENTS are you applying for (check all that apply)
(NO application is complete until the fee is paid)

- ☐ Planning Bd. Special Permit w/ Site Plan - \$325
- ☐ Planning Bd. Special Permit w/ Site Plan for flag lots - \$1,075
- ☐ Planning Bd. Special Permit w/ MAJOR Site Plan NO Special Permit - \$1,075 plus \$0.05/sq. ft new building
- ☐ Planning Bd. Site Plan (NO Special Permit) - \$325
- ☐ Administrative Site Plan Review - \$100
- ☒ Planning Bd. Major Site Plan or 40R Approval (No Special Permit) - \$1,075 plus \$0.05/sq. ft new building
- ☐ Approval Not Required Plans - \$250/plan page
- ☐ Subdivision Preliminary - \$600 plus \$75 per unit
- ☐ Subdivision Definitive IF Preliminary approved GREATER of \$3000 or \$10 linear foot of road
- ☐ Subdivision Definitive IF NO Preliminary GREATER of \$4600 or \$14 linear foot of road
- ☐ Subdivision Definitive Amendment - \$500
- ☐ Zoning Board Special Permit - \$325
- ☐ Zoning Board Finding - \$325
- ☐ Appeal of Building Commissioner-Zoning - \$325
- ☐ Comprehensive Permit (40B) - \$1,075
- ☐ Variance - \$1,075
- ☐ Demolition (Demolition Delay) - \$200
- ☐ Historic District Determination of Non-Applicability - \$0
- ☐ Historic District (Elm St) Determination of Appropriateness - \$325
- ☐ West Street Architecture - \$200
- ☐ Central Business Architecture - \$325
- ☐ Wetlands Notice of Intent, Abbreviated NOI or ANRAD, IF state wetlands (WPA Form 3, 4, or 4A) - \$225 plus city sha
- ☐ Wetlands Notice of Intent IF ONLY local wetlands (WPA Form 3) - \$100 plus \$100 per lot/building/unit
- ☐ Wetlands Request for Determination OR Resource Delineation (WPA form 1 or 4a) - \$175
- ☐ Wetlands Amendment - \$175

☐ Wetlands extension - \$125☐ Wetlands Certificate of Compliance request - \$0

Additional Information

Existing use of your structure or property

Multi-use structure primarily used as a residential garage.

Describe planned use, your proposed project and your request in DETAIL (include relevant sections of regulations) AND whether you have discussed this with your neighbors

Please see attached narrative.

Fee amount: \$1,607.00

Special Permit and/or Site Plan

Describe in detail how you meet ALL SEVEN requirements:

1. Will protect adjoining premises from seriously detrimental uses.
2. Will minimize and mitigate traffic impacts.
3. Promote a harmonious relationship of structures and open space.
4. Protect the general welfare.
5. Avoid overloading and mitigate impacts on City resources.
6. Promote city planning objectives (see Sustainable Northampton, Open Space Plan, and Transportation Plan).
7. Meet all zoning requirements.

Describe

Please see attached narrative.

Upload All Projects

Attach text and supporting information describing project as a multi-page TIF or PDF. If file size is too large, digital file n submittal.

 upload (10 MB max)

Upload Plan Sheets

Upload all plan sheets showing existing and proposed work as a multi-page TIF or PDF named 'plansheets.' If the file s must be included with submittal.



(10 MB max)

Signature

By typing my name in the signature box, I certify that all the information above is accurate to the best of my knowledge, or have permission from the property owner to apply for this permit. I also grant permission to the City of Northampton to work.

Signature

Date Signed



Submit



Cancel

SECTION 3

COPY OF EXECUTED ZONING PERMIT APPLICATION

File # MP-2022-0006

APPLICANT/CONTACT PERSON SOVEREIGN BUILDERS INC
ADDRESS/PHONE 135 SOUTHAMPTON RD (413) 527-8001

PROPERTY LOCATION SHERMAN AVE
MAP 25A PARCEL 099 001 ZONE URB(100)/

THIS SECTION FOR OFFICIAL USE ONLY:
PERMIT APPLICATION CHECKLIST

	ENCLOSED	REQUIRED	DATE
ZONING FORM FILLED OUT			
Fee Paid			
Building Permit Filled out			
Fee Paid			
Type of Construction: ZPA - PROPOSED 5 UNIT RESIDENTIAL DEVELOPMENT - TOTAL OF 3 BUILDINGS - 2 DUPLEX AND 1 SINGLE			
New Construction			
Non Structural interior renovations			
Addition to Existing			
Accessory Structure			
Building Plans Included:			
Owner/ Statement or License			
3 sets of Plans / Plot Plan			

THE FOLLOWING ACTION HAS BEEN TAKEN ON THIS APPLICATION BASED ON INFORMATION PRESENTED:

 Approved **Additional permits required (see below)**

PLANNING BOARD PERMIT REQUIRED UNDER : § URB

Intermediate Project : Site Plan AND/OR Special Permit with Site Plan
Major Project: Site Plan AND/OR Special Permit with Site Plan

ZONING BOARD PERMIT REQUIRED UNDER: §

Finding Special Permit Variance*

 Received & Recorded at Registry of Deeds Proof Enclosed

 Other Permits Required:

 Curb Cut from DPW Water Availability Sewer Availability

 Septic Approval Board of Health Well Water Potability Board of Health

 Permit from Conservation Commission Permit from CB Architecture Committee

 Permit from Elm Street Commission Permit DPW Storm Water Management

Jonathan L. Flagg
Signature of Building Official

8/6/21
Date

*Demo
Permit
Hist. Comm?*

Note: Issuance of a Zoning permit does not relieve a applicant's burden to comply with all zoning requirements and obtain all required permits from Board of Health, Conservation Commission, Department of public works and other applicable permit granting authorities.

* Variances are granted only to those applicants who meet the strict standards of MGL 40A. Contact the Office of Planning & Development for more information.

RECEIVED

JUL 27 2021

File No.

OFFICE OF BUILDING INSPECTIONS
NORTHAMPTON, MA 01060

MP-22-6

ZONING PERMIT APPLICATION (§10.2)

Please type or print all information and return this form to the Building Inspector's Office with the \$30 filing fee (check or money order) payable to the City of Northampton

- Name of Applicant: Todd Cellura / Sovereign Builders, Inc.
Address: 710 Southampton Rd. Westfield, MA Telephone: 413-527-8001
- Owner of Property: Same as above
Address: _____ Telephone: _____
- Status of Applicant: Owner X Contract Purchaser _____ Lessee _____ Other (explain) _____
- Job Location: 29 Sherman Ave.

Parcel Id: _____ Zoning Map# 26A Parcel# 099 District(s): _____
In Elm Street District _____ In Central Business District _____
(TO BE FILLED IN BY THE BUILDING DEPARTMENT)

- Existing Use of Structure/Property: _____ Multi-Use Structure _____
- Description of Proposed Use/Work/Project/Occupation: (Use additional sheets if necessary):

Proposed 5-unit residential development (condo) comprising total of 3 buildings (2-duplex and 1-single)

- Attached Plans: Sketch Plan _____ Site Plan X Engineered/Surveyed Plans _____
- Has a Special Permit/Variance/Finding ever been issued for/on the site?
NO X DON'T KNOW _____ YES _____ IF YES, date issued: _____
IF YES: Was the permit recorded at the Registry of Deeds?
NO _____ DON'T KNOW _____ YES _____
IF YES: enter Book _____ Page _____ and/or Document # _____
- Does the site contain a brook, body of water or wetlands? NO X DONT KNOW _____ YES _____
IF YES, has a permit been or need to be obtained from the Conservation Commission?
Needs to be obtained _____ Obtained _____, date issued: _____

(Form Continues On Other Side)

10. Do any signs exist on the property? YES _____ NO X

IF YES, describe size, type and location: _____

Are there any proposed changes to or additions of signs intended for the property? YES _____ NO X

IF YES, describe size, type and location: _____

11. Will the construction activity disturb (clearing, grading, excavation, or filling) over 1 acre or is it part of a common plan of development that will disturb over 1 acre? YES _____ NO X

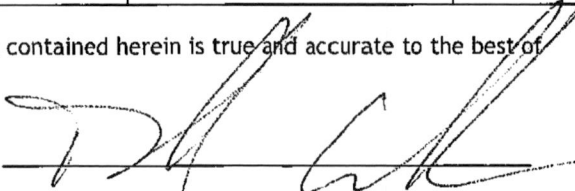
IF YES, then a Northampton Storm Water Management Permit from the DPW is required.

12. ALL INFORMATION MUST BE COMPLETED, or PERMIT CAN BE DENIED DUE TO LACK OF INFORMATION

*This column reserved
for use by the Building
Department*

	EXISTING	PROPOSED	REQUIRED BY ZONING
Lot Size	22,449 SF	22,449 SF	
Frontage	132'	132'	
Setbacks			
Front	34'	11'	
Side	L: 15' R: 15.5'	L: 17' R: 17'	L: R:
Rear	8.5'	21'	
Building Height		32'	
Building Square Footage		Total 10,765 SF (5 units at 2,153 SF each)	
% Open Space: (lot area minus building & paved parking)		32%	
# of Parking Spaces	undefined-gravel parking area	5 off-street parking spaces Each unit has 1 space in garage	
# of Loading Docks	1	0	
Fill: (volume & location)	n/a	Anticipate surplus material (cut)	

13. Certification: I hereby certify that the information contained herein is true and accurate to the best of my knowledge.

Date: 7/27/2021 Applicant's Signature 

NOTE: Issuance of a zoning permit does not relieve an applicant's burden to comply with all zoning requirements and obtain all required permits from the Board of Health, Conservation Commission, Historic and Architectural Boards, Department of Public Works and other applicable permit granting authorities.

SECTION 4

NARRATIVE ADDENDUM

NARRATIVE ADDENDUM

For

Site Plan Approval for Major Projects – Proposed Residential Development
29 Sherman Avenue
Northampton, MA 01060
(Parcel ID: 251-099-001)
RLA Project File No. 210226

Proposed Project Description

On behalf of the applicant and property owner, Sovereign Builders Inc. c/o Mr. Todd Cellura, R. Levesque Associates, Inc. is herein submitting a Site Plan Approval for Major Projects to allow for the construction of a proposed residential development and its associated site improvements as shown on the attached project plans entitled “Proposed Residential Development”, dated September 10, 2021, as prepared by R. Levesque Associates, Inc.

The site has an area of approximately 22,449 SF and is located within the Urban Residence B (URB) zoning district, per the Northampton zoning and assessors’ maps. The proponents intend to demolish and remove an existing multi-use structure, primarily used as a residential garage, to construct three new residential buildings containing five residential units. Each unit will have a Gross Floor Area of 2,128 SF placing the total development SF at 10,640 SF. Per §350-11.3 (A) of the Northampton Zoning Ordinance, all projects which involve new construction or additions of 5,000 SF or more of gross floor area require site plan approval as a major project.

The applicant has spoken with at least one abutter, who indicated they are favorable to the project. Additional outreach to abutters will be taken by the applicant.

Access to the site will be 18’ wide utilizing the existing curb-cut. Driveways will be provided to each unit and paved in bituminous concrete. A bituminous berm will be installed along the perimeter of the driveways and parking area.

Per §350 Attachment 7 (Table of Use and Dimensional Regulations for the URB District) the project requires a minimum parking requirement of 10 spaces. A one car garage and one tandem spot provides each residential unit with two (2) parking spaces to calculate a total of ten (10) parking spaces provided.

As part of the proposed project the applicant will demolish and remove the existing building and discontinue all utility connections. The proposed residential units will be served by new utility connections including water, sewer, gas, electric, and communication. All utilities will be brought to the site via the parcel’s Sherman Avenue frontage. Please refer to Sheet C-6 (Drainage & Utilities Plan) for location of proposed utilities.

Currently, the site does not have a private stormwater management system. On-site stormwater drains to either the existing right of way or to a municipal catch basin located at the rear of the site. As part of the proposed project the applicant will install a new stormwater management system capable of treating and attenuating stormwater flow prior to off-site discharge. The stormwater system has been designed to meet the standards set forth in the City of Northampton Stormwater Management Ordinance as well as the Massachusetts Department of Environmental Protection Stormwater Management Handbook. For more details in the proposed stormwater system, please refer to the Stormwater Report, submitted as supplemental information to this permit application.

No tree clearing is proposed as part of this project. All existing on site vegetation will be protected and retained. The proposed project adds significant plant materials to the site. Twenty-two (22) white spruce trees will be added along the western, northern, and eastern property boundaries. The eastern property boundary will be planted with a combination of white spruce and PJM Rhododendron. Two red maples will be planted within the project site, and two American beech trees are proposed at the site entrance. The proposed bioretention area will be planted with a combination of native species and seed restoration mix. Please refer to Sheet C-7 (Site Landscaping Plan) for locations and planting schedule.

Review Criteria

1. Will protect adjoining premises from seriously detrimental uses.

RLA Response: The proposed project is consistent with the residential use in the neighborhood. The new units will be screened from abutters through landscape plantings.

2. Will minimize and mitigate traffic impacts.

RLA Response: Traffic impacts will be minimal as the project proposes five residential units within a residential neighborhood. Vehicles will enter and exit the site through one point of access which is located proximate to the existing curb-cut with frontage on Sherman Avenue.

3. Promote a harmonious relationship of structures and open space.

RLA Response: Structures are cited within the approved setbacks, with open space reserved along the property lines. Structures are designed to face towards the accessway / street. Open space is generally along the property lines, with the largest contiguous space within the northeast corner where the proposed bioretention area is located.

4. Protect the general welfare.

RLA Response: The general welfare will not be harmed with the proposed use, as this is a residential use in a residential neighborhood. The site is

screened from abutting properties through landscape plantings. The traffic will be minimal as this development only constitutes a total of five.

5. *Avoid overloading and mitigate impacts on City resources.*

RLA Response: The proposed residential units will be served by new utility connections that will be connected via existing infrastructure on Sherman Ave. Overloading and mitigate impacts on City resources will be avoided by increasing tax base without increases utility infrastructure costs.

6. *Promote city planning objectives.*

RLA Response:

- The project proposes concentrated, infill development in pre-1950 neighborhood, especially within 1/2 mile of basic services and commercial areas (Sustainable Northampton, 2008).
- Important to increase the number of allowable units so that the City can maintain or slightly increase its historic pattern of having a large majority on its residents living within walking distance to downtown or one of the village centers (Northampton Strategic Housing Plan, 2011).

7. *Meet all zoning requirements.*

RLA Response: The project meets the design requirements of the URB zoning district:

- Lot Size for 3+ Units: 2,500 ft² Minimum (Min.) Per Unit – the Gross Floor Area proposed for each unit is 2,128 SF.
- Dimensional Requirements – Meets all front, side, and rear yard setbacks in the URB. Refer to the Zoning Table on Sheet C-4 of the Plan Set.
- Maximum Height – The maximum height in the URB district is 35'. The proposed units are 33 1/2 - feet in height.
- Open Space – Open Space requirements in the URB zone is 40%. The current open space on the lot is 68%.
- Design Standard #2 - Front Doors Must Face the Street – Applicant requests relief from this design standard. Frontage on Sherman Avenue will have a front door facing the street. Internal units will have a front door facing the parking area in order to utilize the single curb cut on Sherman Avenue.
- Design Standard #3 - For New Buildings, Setback, Scale, Massing Should Fit within the Block Face – The proposed building meets the URB zoning standards for setback and height. The building is consistent with the scale and massing with other structures in the neighborhood.

- Design Standard #4 - Parking for more than 5 cars shall be distributed on the site to minimize impact to the neighborhood character, which shall be accomplished by small groupings of spaces surrounded by landscaping or parallel parking along a narrow driveway to mimic an alley. Driveways wider than 15 feet shall be visually buffered from side lot lines through setbacks or screening to adequately block car headlights – Each unit has a one-car garage and one tandem parking space. This provides each residential unit with two (2) parking spaces to calculate a total of ten (10) parking spaces provided.
- Minimum Parking for Residential Uses – No More than 2 Spaces Per Unit – Refer to Design Standard #4. Each unit has a one-car garage and one tandem parking space. This provides each unit with no more than two (2) parking spaces.

[END OF NARRATIVE ADDENDUM]

SECTION 5

COPY OF DEED

Hampshire County Registry of Deeds

Electronically Recorded Document

This is the first page of the document - Do not remove

Recording Information

Document Number	: 16184
Document Type	: DEED
Recorded Date	: July 01, 2021
Recorded Time	: 12:10:01 PM
Recorded Book and Page	: 14167 / 133
Number of Pages(including cover sheet)	: 3
Receipt Number	: 382077
Recording Fee (including excise)	: \$1,067.00

MASSACHUSETTS EXCISE TAX
Hampshire District ROD #13 001
Date: 07/01/2021 12:10 PM
ctrl# 049303 02214 Doc# 00016184
Fee: \$912.00 Cons: \$200.000.00

Hampshire County Registry of Deeds
Mary Olberding, Register
33 King Street
Northampton, MA 01060
413-584-3637
www.Masslandrecords.com

Affected Premises:

29 Sherman Avenue
Northampton, MA 01060

KNOW ALL PERSONS BY THESE PRESENTS

That I, **ALAN SCHEINMAN**, of Holyoke, Hampden County, Massachusetts, *being unmarried*,

for consideration of **TWO HUNDRED THOUSAND DOLLARS (\$200,000.00)**, paid

grant to **SOVEREIGN BUILDERS, INC.**, a Massachusetts corporation with a principal office located at 135 Southampton Road, Westhampton, MA 01027

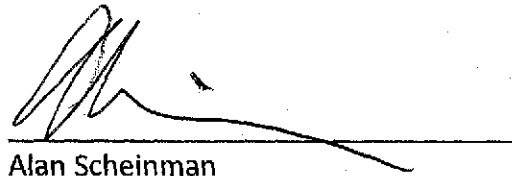
with **QUITCLAIM COVENANTS**,

A certain parcel of land with the buildings thereon situated on the northeasterly side of Sherman Avenue in Northampton, Hampshire County, Massachusetts, and being the same property shown as **Parcel B** on a plan entitled "Plan of Land in Northampton, Massachusetts Prepared for Alfred G. Martinbeault," by Almer Huntley, Jr. & Associates, Inc., dated September 14, 2001, and recorded in Hampshire County Registry of Deeds in Plan Book 190, Page 13.

Being the same premises conveyed to the Grantor herein by deed of Alfred G. Martinbeault, dated October 29, 2001, and recorded in Hampshire County Registry of Deeds, Book 6407, Page 206.

The Grantor herein by his signature affixed hereto hereby attests that the within conveyed property was never his homestead estate, never his principal residence, never any spouse's homestead estate or principal residence and therefore neither the grantor nor any spouse is entitled to claim the benefit of an existing estate of homestead in the premises.

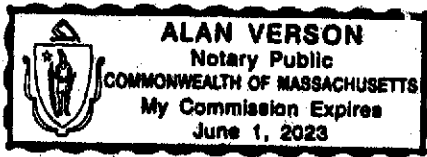
EXECUTED as a sealed instrument this 1st day of July, 2021.


Alan Scheinman

THE COMMONWEALTH OF MASSACHUSETTS

Hampshire, ss.

On this ~~18~~ ^{1st} day of ~~June~~ ^{July}, 2021, before me, the undersigned notary public, personally appeared ALAN SCHEINMAN, who ☒ is personally known to me ☐ proved through satisfactory evidence of identification, which was _____, to be the person whose name is signed on the within document and acknowledged to me that he signed it voluntarily for its stated purpose.



A handwritten signature in cursive script, appearing to read "Alan Verson", written over a horizontal line.

Notary Public – Justice of the Peace
My commission expires

APPENDIX

**PROPOSED RESIDENTIAL DEVELOPMENT SITE PLANS,
PREPARED FOR SOVEREIGN BUILDERS INC. C/O MR. TODD CELLURA
BY R LEVESQUE ASSOCIATES, INC. DATED SEPTEMBER 10, 2021**

**PROPOSED BUILDING ELEVATIONS AND FOOTPRINT,
PREPARED FOR 29 SHERMAN AVE. NORTHAMPTON, MA 01060
BY BRUINIER & ASSOCIATES, INC.**