

Downtown Northampton Regulatory Tune-up

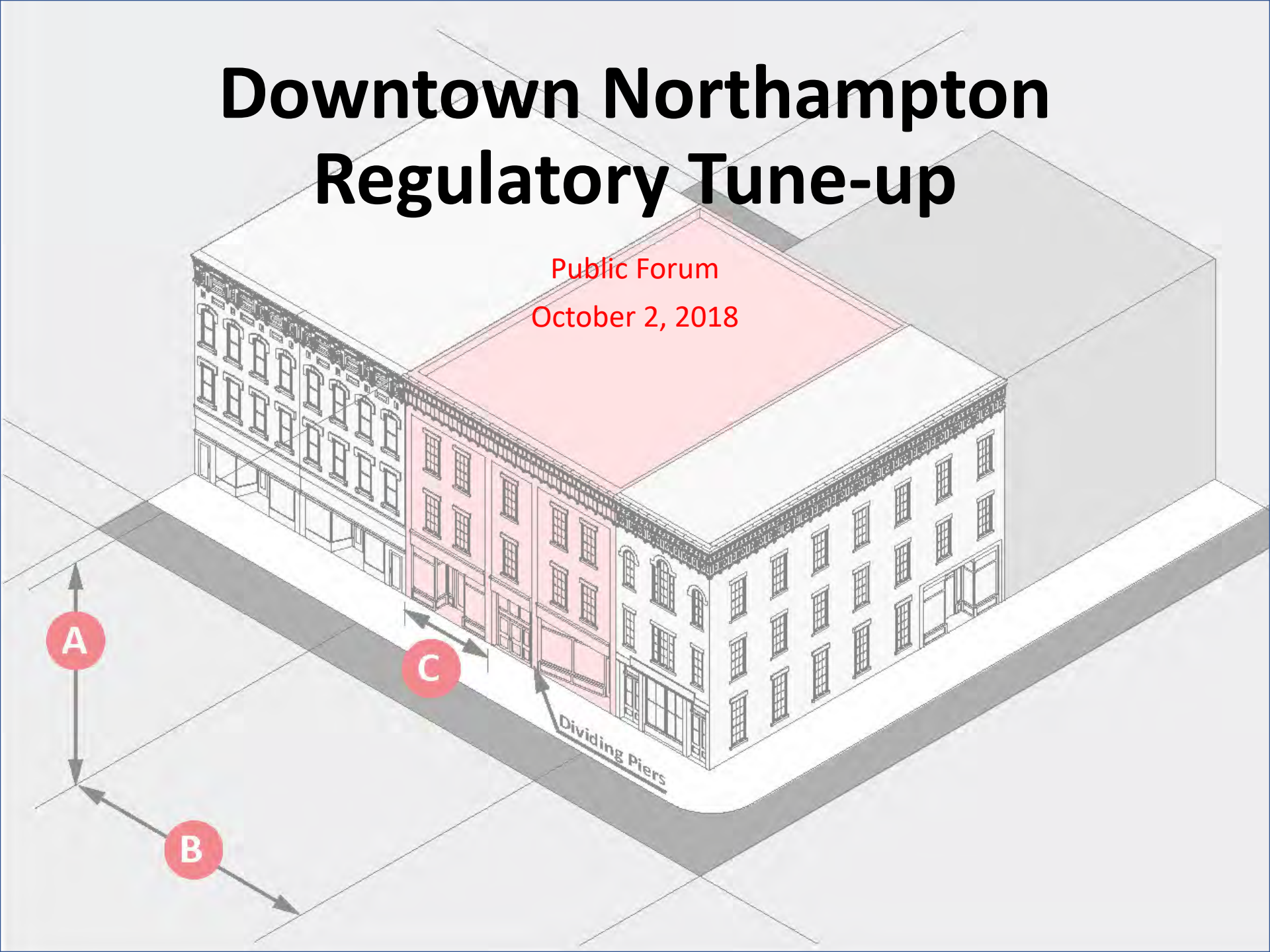
Public Forum
October 2, 2018

A

C

B

Dividing Piers



Project Timeline

1. Asking what people want

Stakeholder interviews and meetings with city staff, boards (ongoing)

Focus groups:

DNA Meeting (9/18/18)

Chamber of Commerce Economic Development (9/21/18)

Florence Civic & Business Assoc. (9/25/18)

Public Forums:

October 2, Downtown Northampton (tonight!)

October 30, Downtown Florence (Florence Civic Center, 6:30 p.m.)

2. Translating input into regulations

November 2018 - February 2019

3. Getting feedback about proposals

Focus groups and public forums, March-May 2019

4. Revising proposed regulations

March-June, 2019

Forces impacting Downtown Northampton

**Social
Distress**



**Internet
Competition**



**Regional
Competition
(arts, retail,
restaurant,
entertainment)**



**Housing
Shortage**



**Others
Forces?**

Project Area



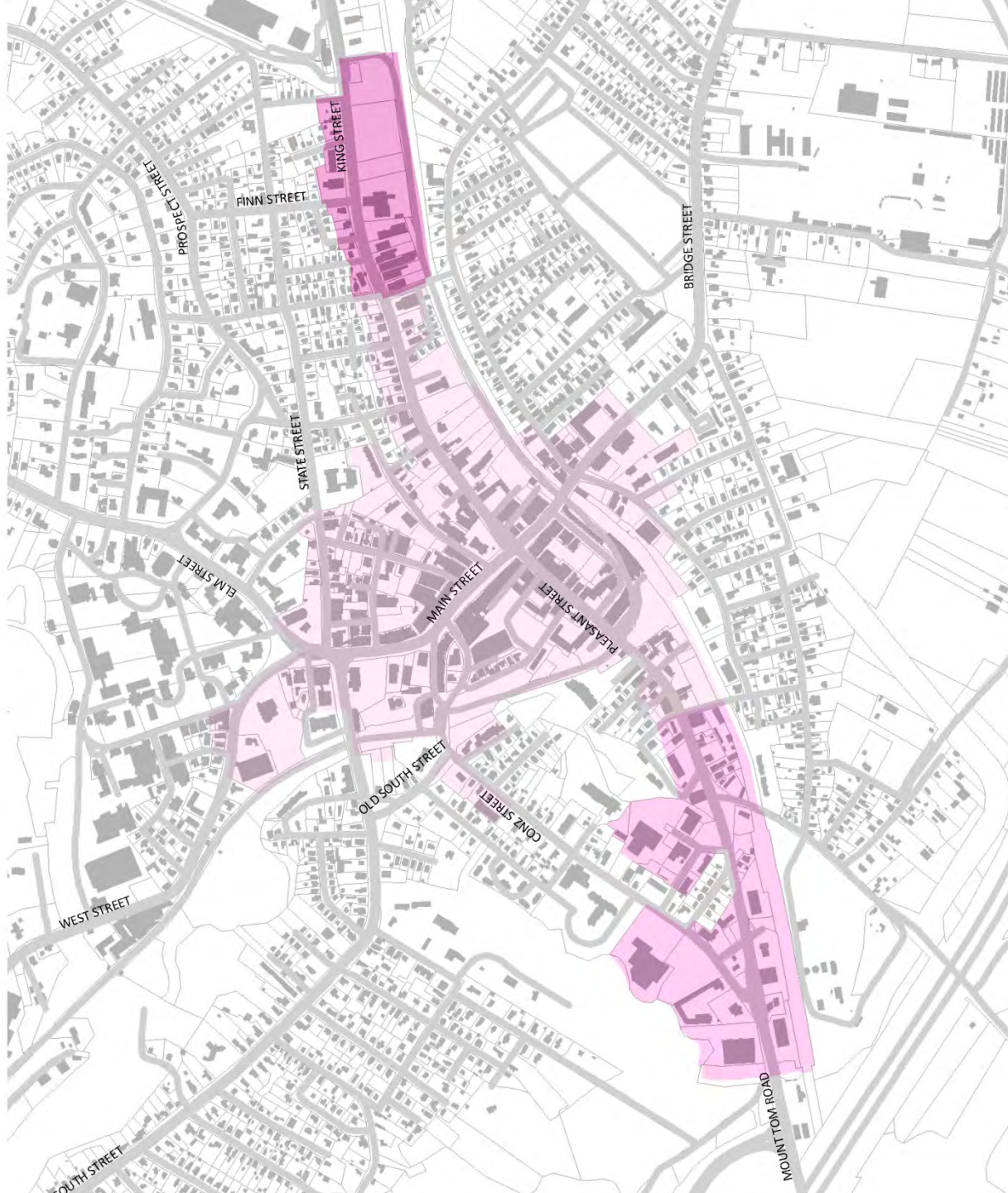
Project Area

Current Zoning

Zoning Districts

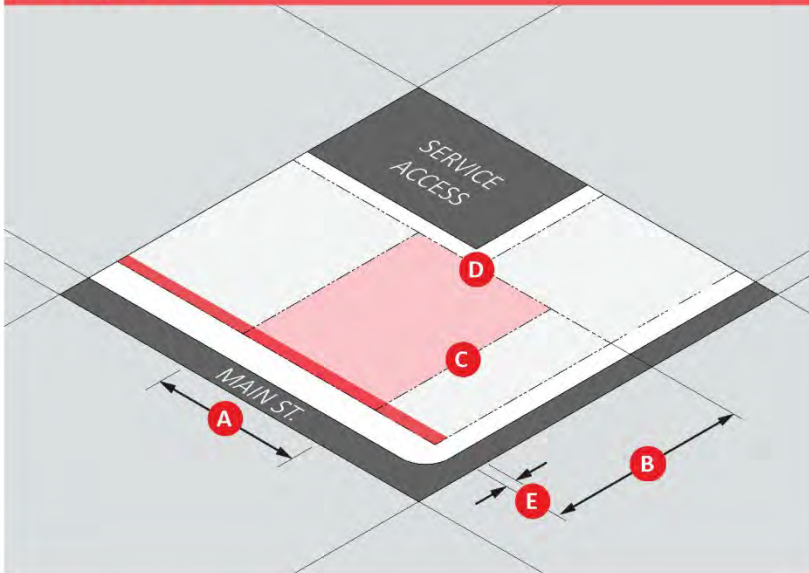
- CB - Central Business
- EB - Entrance Business
- GB - General Business

Note: Central Business District is also subject to design guidelines



Building & Lot Standards | Central Business District

Building Placement



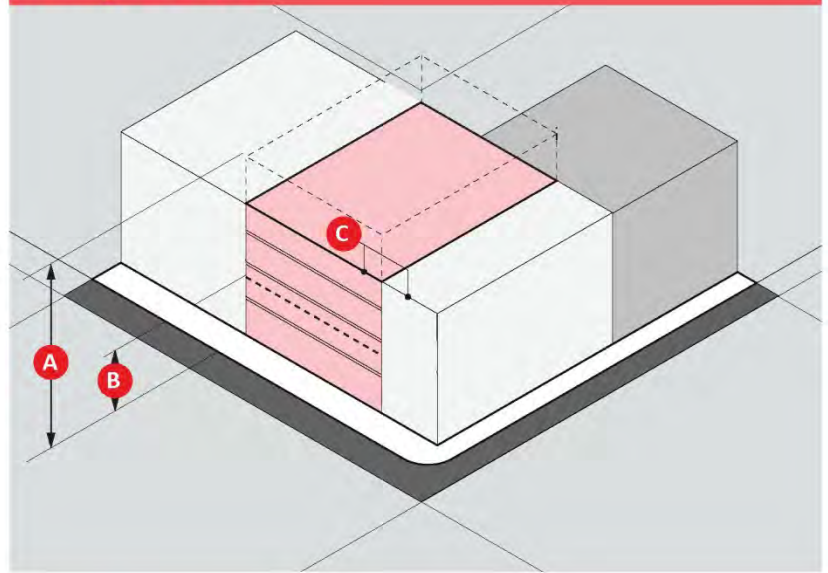
Building Placement

Lot Size	Minimum: 0
A Parcel Width/Frontage	Minimum: 0
B Parcel Depth	Minimum: 0

Setbacks

C Side Setback	Minimum: 0
D Rear Setback	Minimum: 0
E Build-To Zone	Range: 0-5'

Building Dimensions



Building Dimensions - Universal

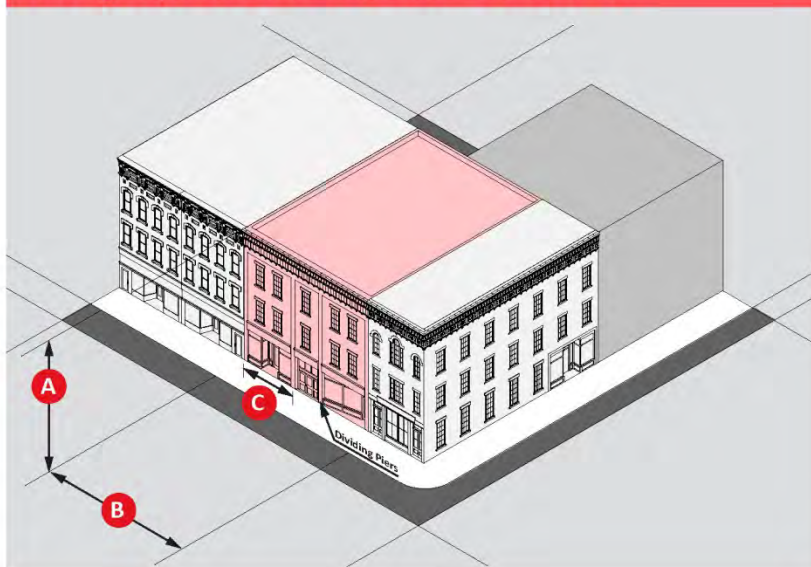
A Building Max. Height	70'
B Building Min. Height	30'

Building Dimensions - Contextual

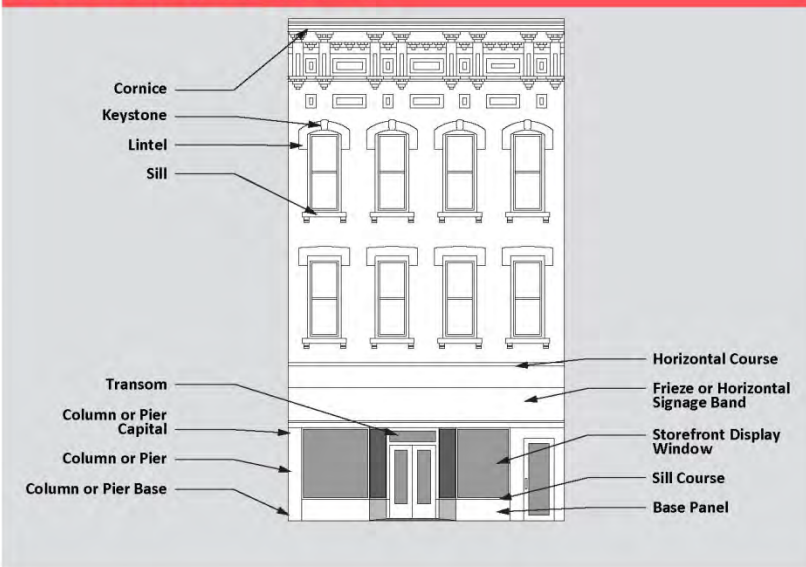
C Wherever possible, new buildings should match the height of neighboring buildings.

Architectural Standards | Central Business District

Building Proportions and Articulation - Isometric View



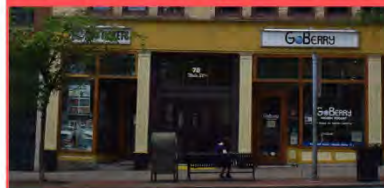
Facade Elements - Elevation View



Fenestration

A	Building Height	$A > B$
B	Building Width	see above
C	Facade Subdivision	If $A < B$ then $C < A$
	Front Parapet Wall	4' above front roof eave height, 16" thick

Storefront Display



Signage Band



Cornice / Front Parapet Wall



Windows



Architectural Standards | Central Business District

Individual Window Placement - Elevation View



Window Placement - Individual

A	Window Width	
B	Window Separation (Evenly Spaced)	$1.25 \times A$
C	Window Separation (Grouped)	Maximum: $A/2$
D	Distance from Edge of Building (Grouped)	Maximum: 6'

Ganged Window Placement - Elevation View



Window Placement - Ganged

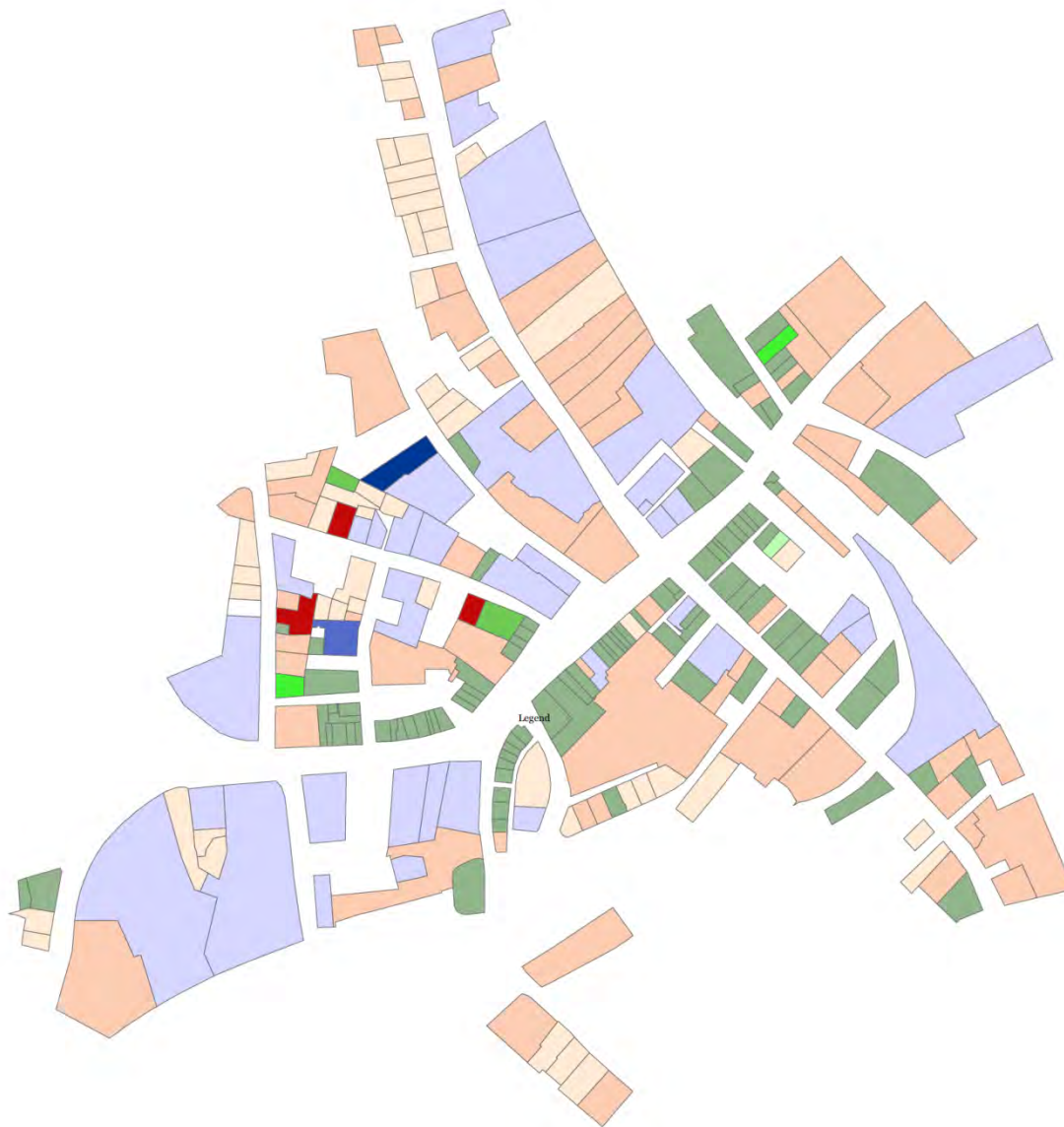
A	Window Width	$2 \times A = \text{Ganged Window Width}$
B	Window Separation (Evenly Spaced)	$1.25 \times A$;
C	Window Separation (Grouped)	Maximum: $A/2$
D	Distance from Edge of Building (Grouped)	Maximum: 6'

% Window Coverage Above 1st Floor

Minimum: 20%
Maximum: 40%

Window Dimensions Typical

Width: 2'-3'
Height: 1.67 x Width (minimum) to 3 x Width (maximum)



CBAC_class

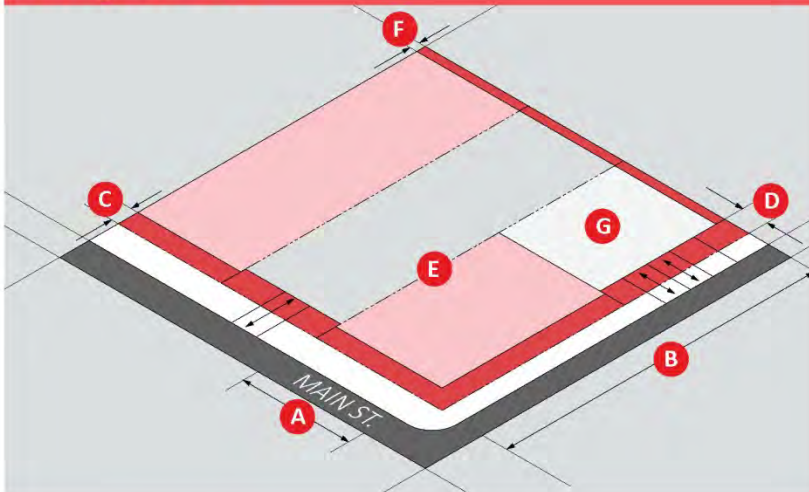
Class

- <Null>
- ANOMALY
- LANDMARK
- LANDMARK (ANOMALY IN REAR)
- LANDMARK/TRANSITIONAL RESIDENTIAL
- THEME COMMERCIAL
- THEME COMMERCIAL/ANOMALY
- THEME COMMERCIAL/TRANSITIONAL RESIDENTIAL
- THEME CONSTRUCTION
- TRANSITIONAL RESIDENTIAL
- TRANSITIONAL RESIDENTIAL/ANOMALY

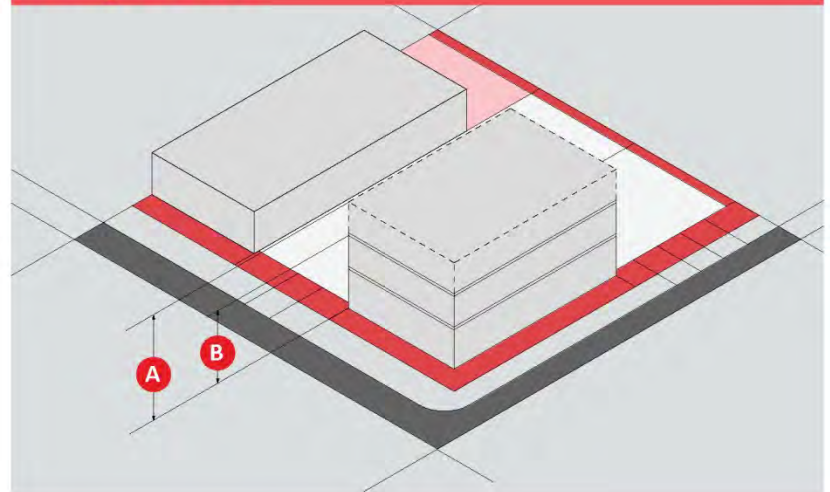


Building & Lot Standards | Entranceway Business District

Building Placement



Building Dimensions



Building Placement

Lot Size	Minimum: 0
A Parcel Width/Frontage	Minimum: 0
B Parcel Depth	Minimum: 0

Building Dimensions - Universal

A Building Max. Height	65'
B Building Min. Height	20'

Setbacks

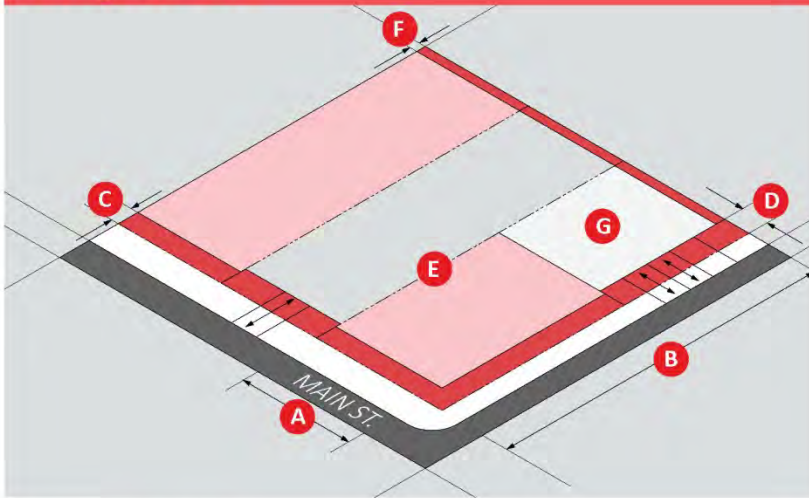
C Build-To Zone	Minimum: 0 or 8' with plaza/buffer
D Parking Buffer	Minimum: 10'
E Side Setback	Minimum: 0
F Rear Setback	Minimum: 0
G Parking	Rear or Side Only, No Front Parking

Building Dimensions - Contextual

Wherever possible, new buildings should match the height of neighboring buildings.

Building & Lot Standards | General Business District

Building Placement



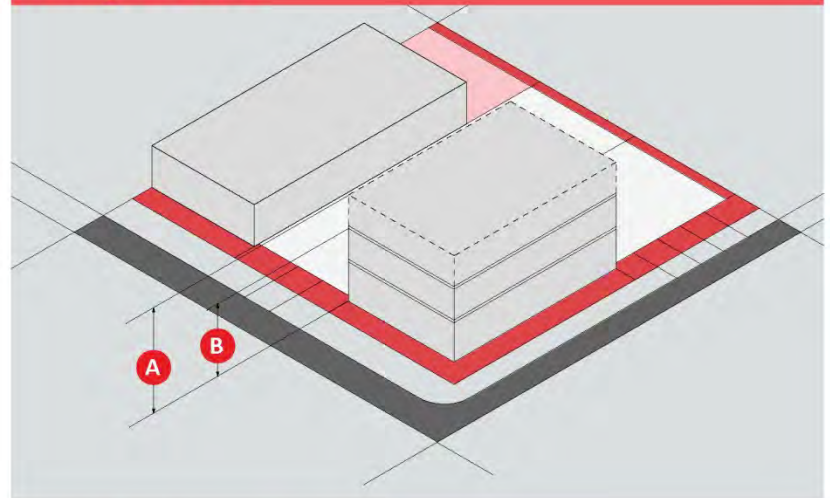
Building Placement

Lot Size	Minimum: 0
A Parcel Width/Frontage	Minimum: 0
B Parcel Depth	Minimum: 0

Setbacks

C Build-To Zone	Minimum: 0
D Parking Buffer	Minimum: 10'
E Side Setback	Minimum: 0
F Rear Setback	Minimum: 6'
G Parking	Rear or Side Only, No Front Parking

Building Dimensions



Building Dimensions - Universal

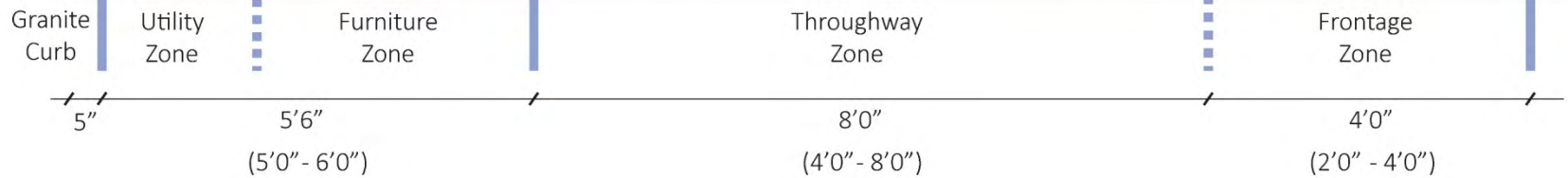
A Building Max. Height	60'
B Building Min. Height	20'

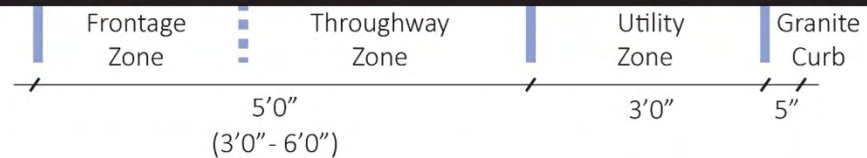
Building Dimensions - Contextual

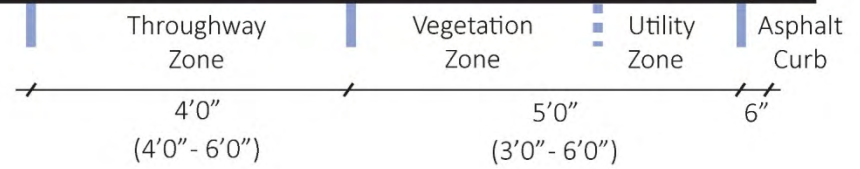
Wherever possible, new buildings should match the height of neighboring buildings.

Comparison of CB, EB, and GB Districts

	CB	EB	GB
Architectural Design	Detailed standards through CBAC criteria	Several key standards: minimum glazing, minimum 5:12 pitched roof if building less than 30' high, entrances must face street	None
Public Realm	<p>0-5' front build-to-zone.</p> <p>PB may allow greater setback to preserve existing character or to allow for urban pedestrian malls</p>	<p>Building must abut sidewalk or there must be a minimum 8' deep landscaped buffer or plaza</p> <p>10' deep planted buffer required between sidewalk and parking lot</p> <p>If site plan review triggered, then a 10' sidewalk required to be constructed in right-of-way along property frontage</p>	<p>Building can be at sidewalk edge or can be set back with landscaping, pedestrian mall or plaza which count toward open space requirement.</p> <p>No front parking except for retail uses over 10,000 square for which 1 row of parking is allowed (special permit required for use). Or for existing buildings set back at least 75'.</p>
Residential on first floor	<p>Allowed above first floor</p> <p>Allowed on first floor behind a commercial space at least 20' deep.</p> <p>Allowed on a property that doesn't abut public way or public park (not including bike paths)</p>	Allowed above first floor	Allowed above first floor in a mixed-use building
Parking	Most uses do not require off street parking	Off street parking required per floor area (or per # of seats for restaurants)	Off street parking required per floor area (or per # of seats for restaurants)
Uses	Wide variety allowed	Wide variety allowed	<p>Wide variety allowed with a detailed list.</p> <p>Larger uses require special permit.</p> <p>Maximum 90,000 sq. ft. for single establishment</p>

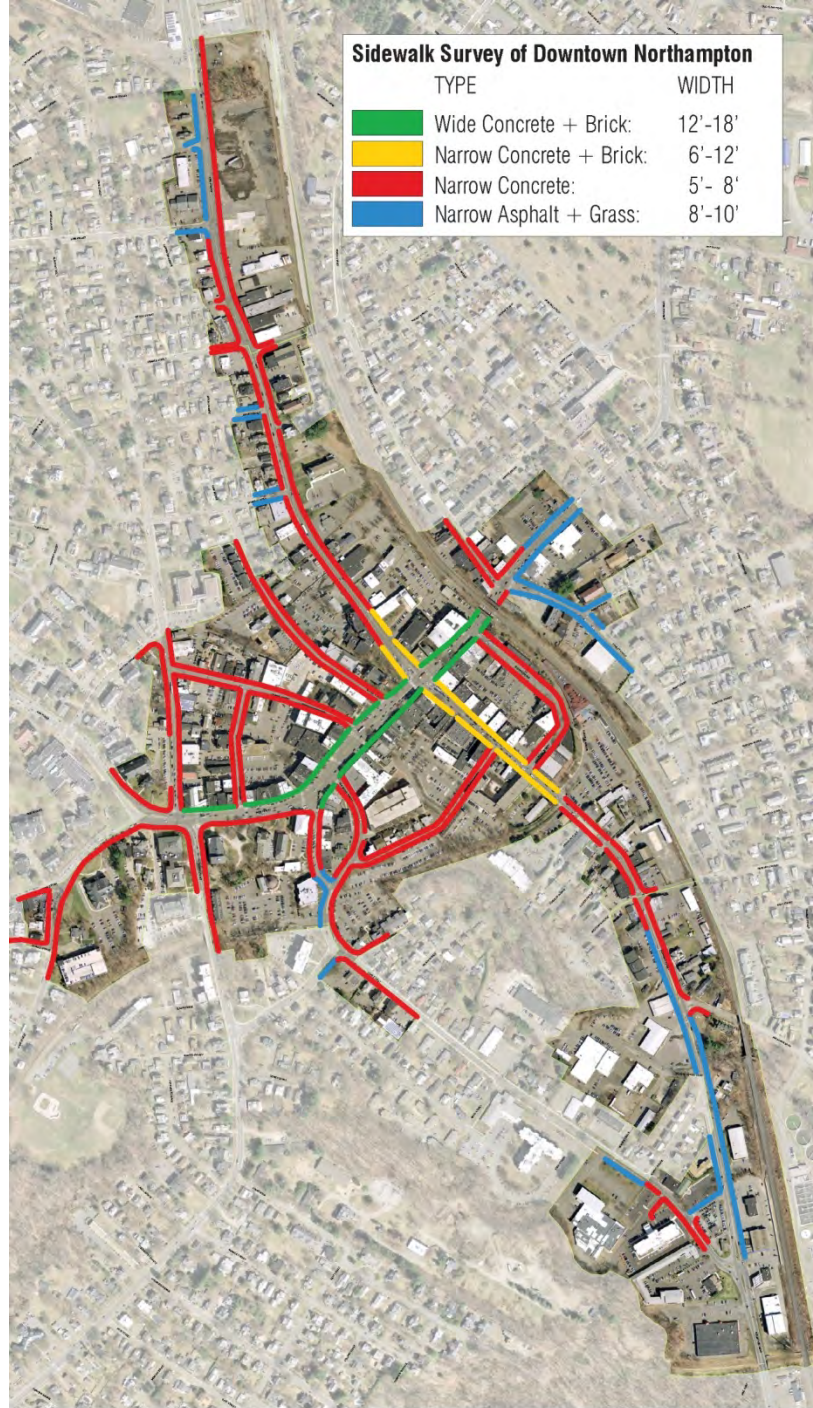






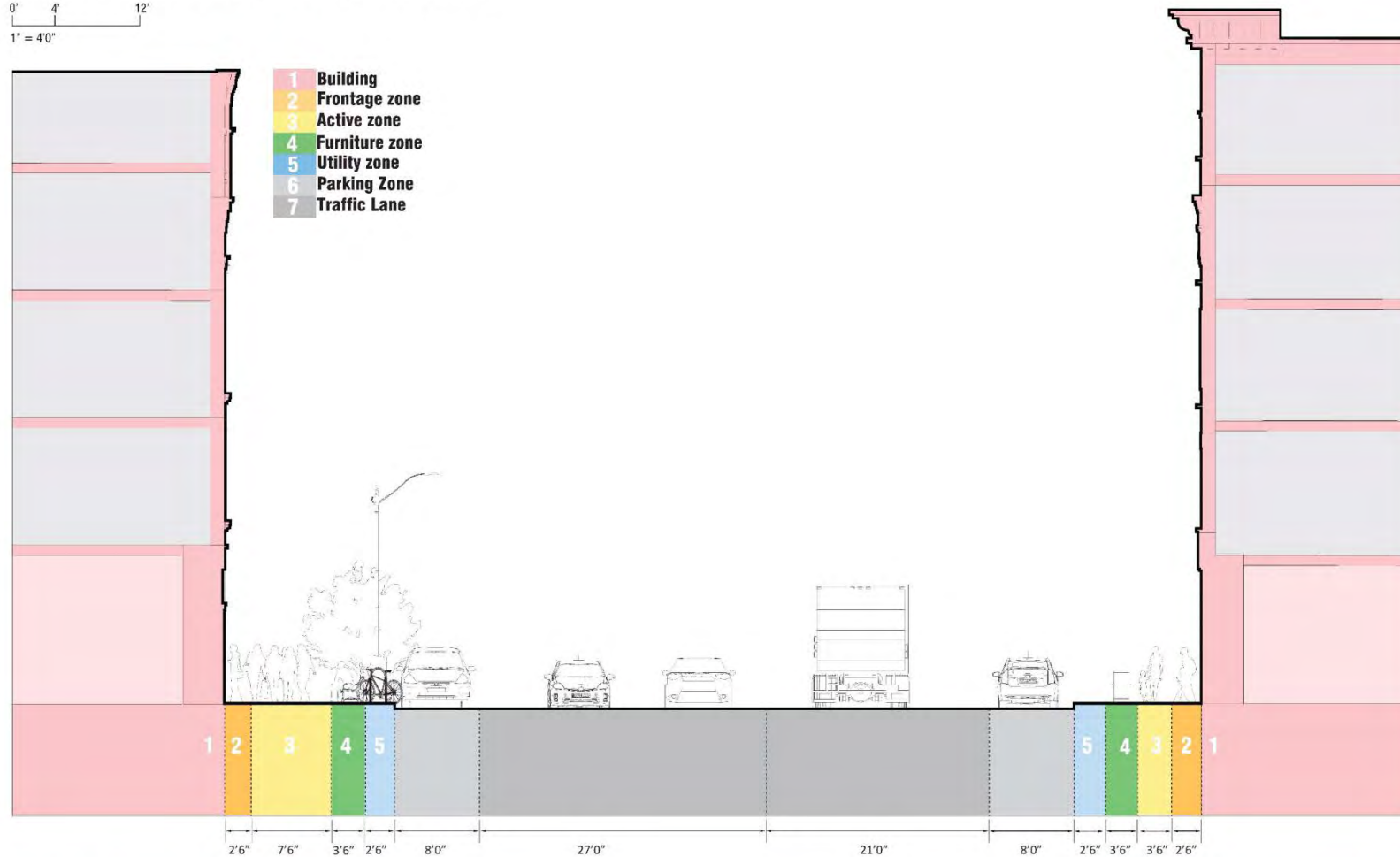
Sidewalk Survey of Downtown Northampton

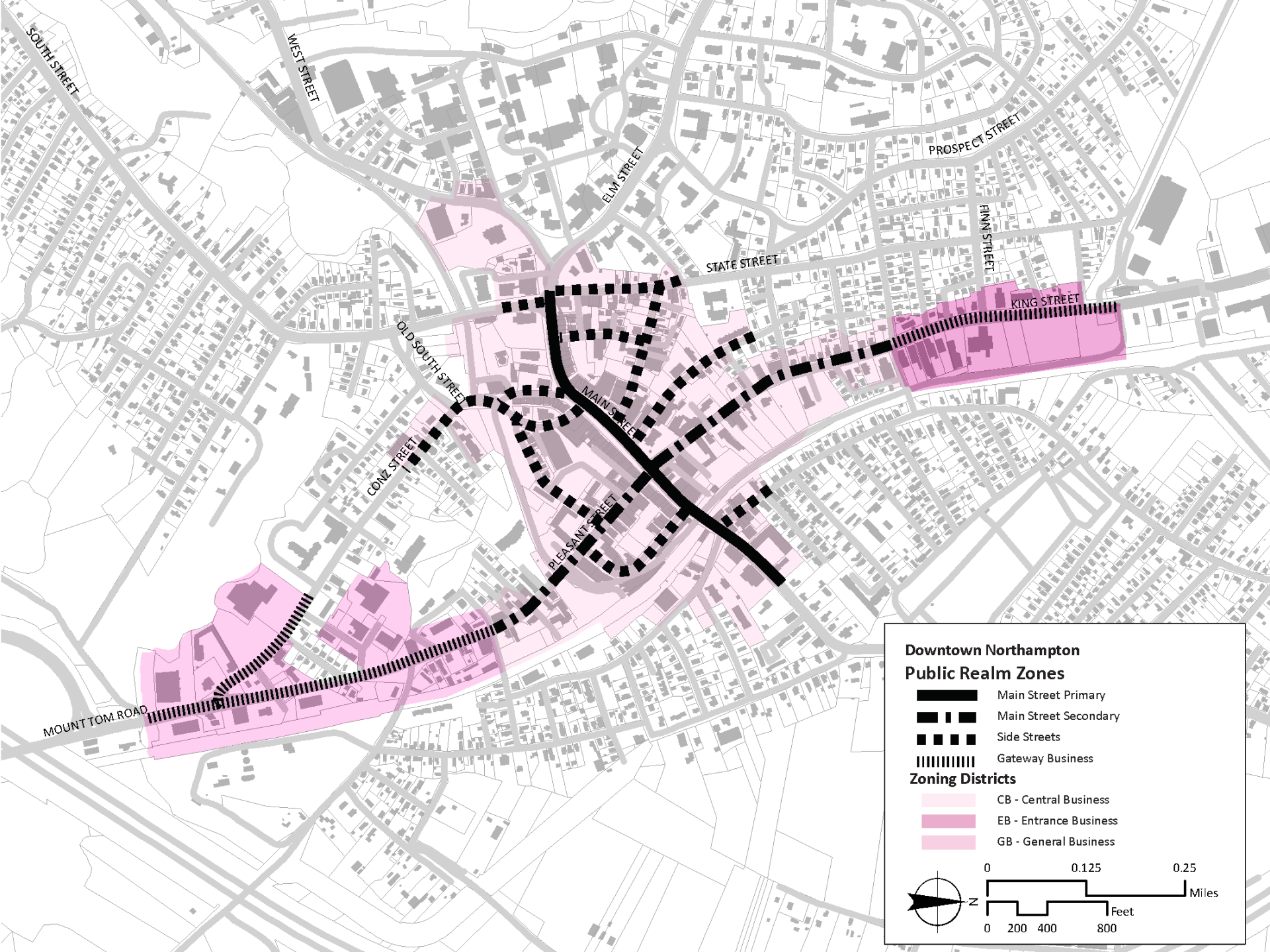
TYPE	WIDTH
Wide Concrete + Brick:	12'-18'
Narrow Concrete + Brick:	6'-12'
Narrow Concrete:	5'- 8'
Narrow Asphalt + Grass:	8'-10'



Main Street Narrow: Existing Public Space Conditions

0' 4' 12'
1" = 4'0"



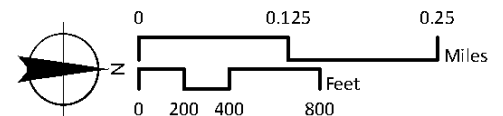


**Downtown Northampton
Public Realm Zones**

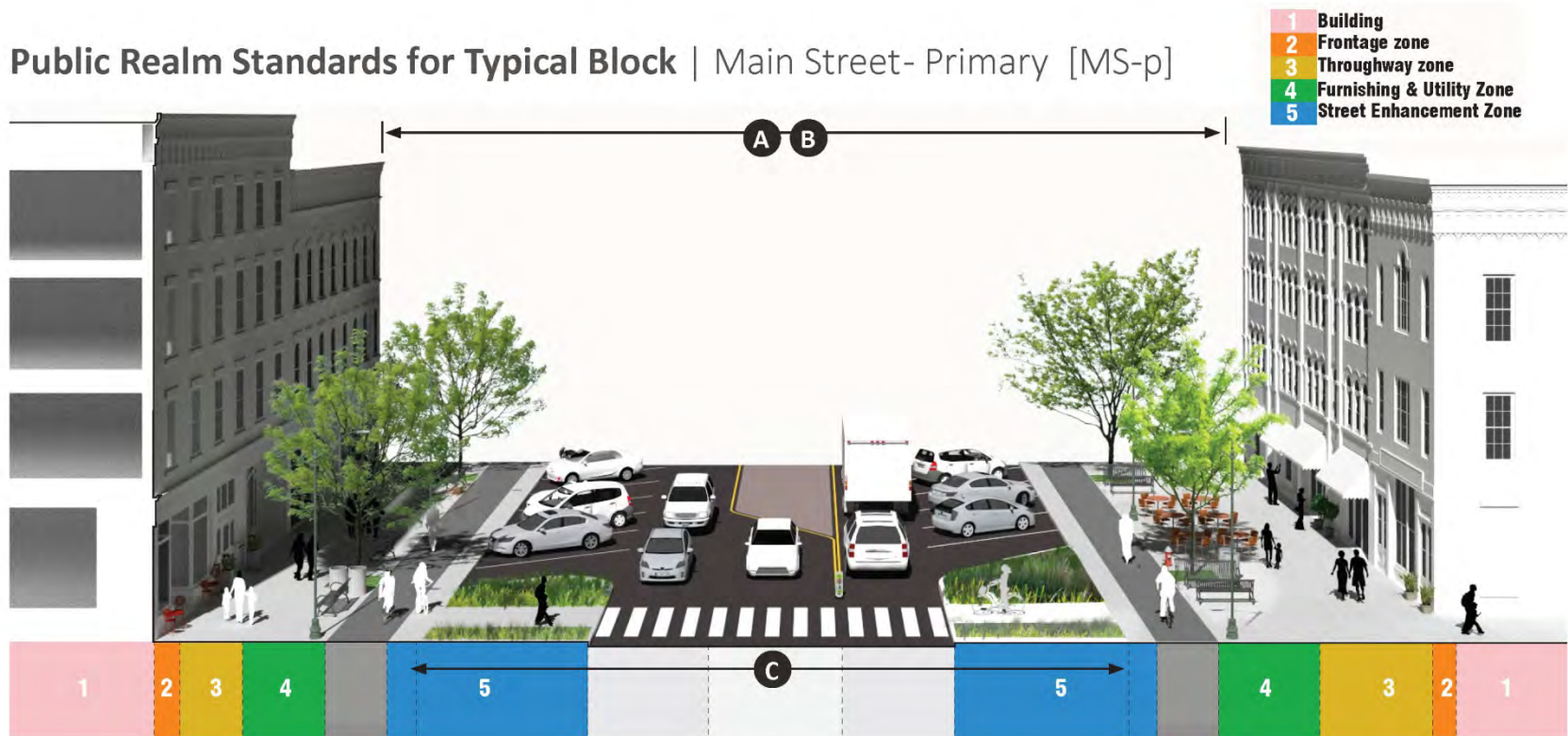
- Main Street Primary
- - - Main Street Secondary
- · · Side Streets
- ||||| Gateway Business

Zoning Districts

- CB - Central Business
- EB - Entrance Business
- GB - General Business



Public Realm Standards for Typical Block | Main Street- Primary [MS-p]



Description

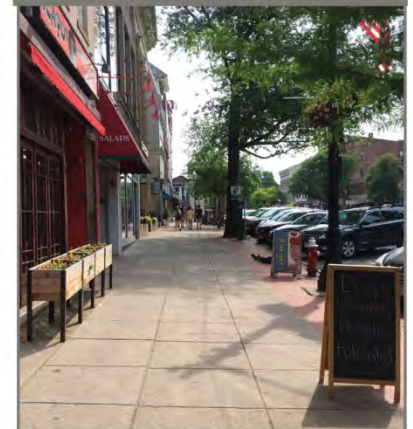
This image represents an idealized, proposed Main Street block with a separated cycle-track, a shared central turning lane, and a widened sidewalk. The existing Main Street right-of-way varies from 75' to 180', allowing room for new public realm elements, such as public seating, cafe spaces, and stormwater infiltration areas. The proposed sidewalk is divided into conceptual 'zones' by their typical use and components. These zones are further described on subsequent pages.

Parameter	Dimensional Range
A Enclosure (facade to facade)	75'-180'
B Right-of-Way	75'-180'
C Street Width (curb to curb)	36'-68'

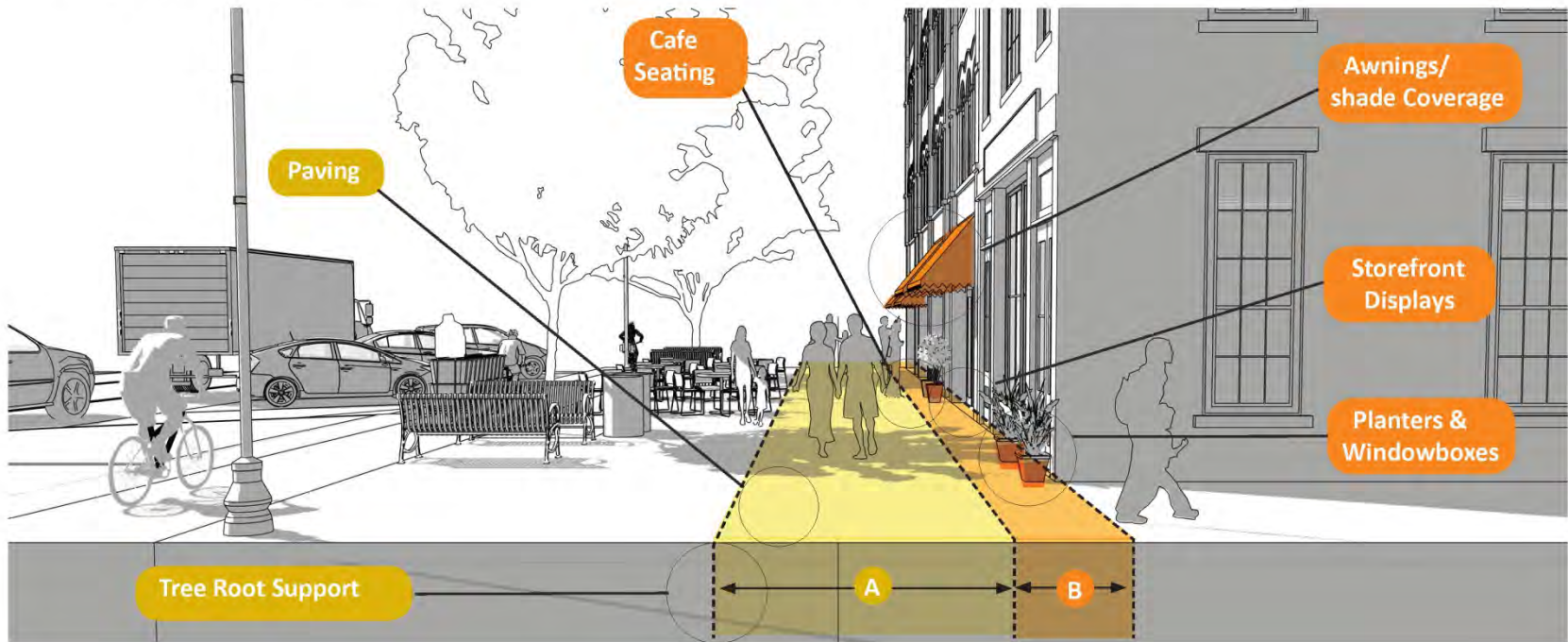
Main St Primary



Main St Primary Sidewalk



Throughway & Frontage Zone Standards | Main Street- Primary [MS-p]



Throughway Zone

A Width 5' (min.) - 12' (preferred)

Description

The throughway zone is the portion of the sidewalk used for active movement and travel from one place to another in the public realm. It is important that the throughway zone be an adequate width for comfortable two-way pedestrian movement, that it remains clear of obstacles, and that the paving surface is relatively level.

Components

Paving
Public Art
Tree Root Structural Support

} p. xx

Frontage Zone

B Width 2' (min.) ; 4' minimum for Cafe Seating

Description

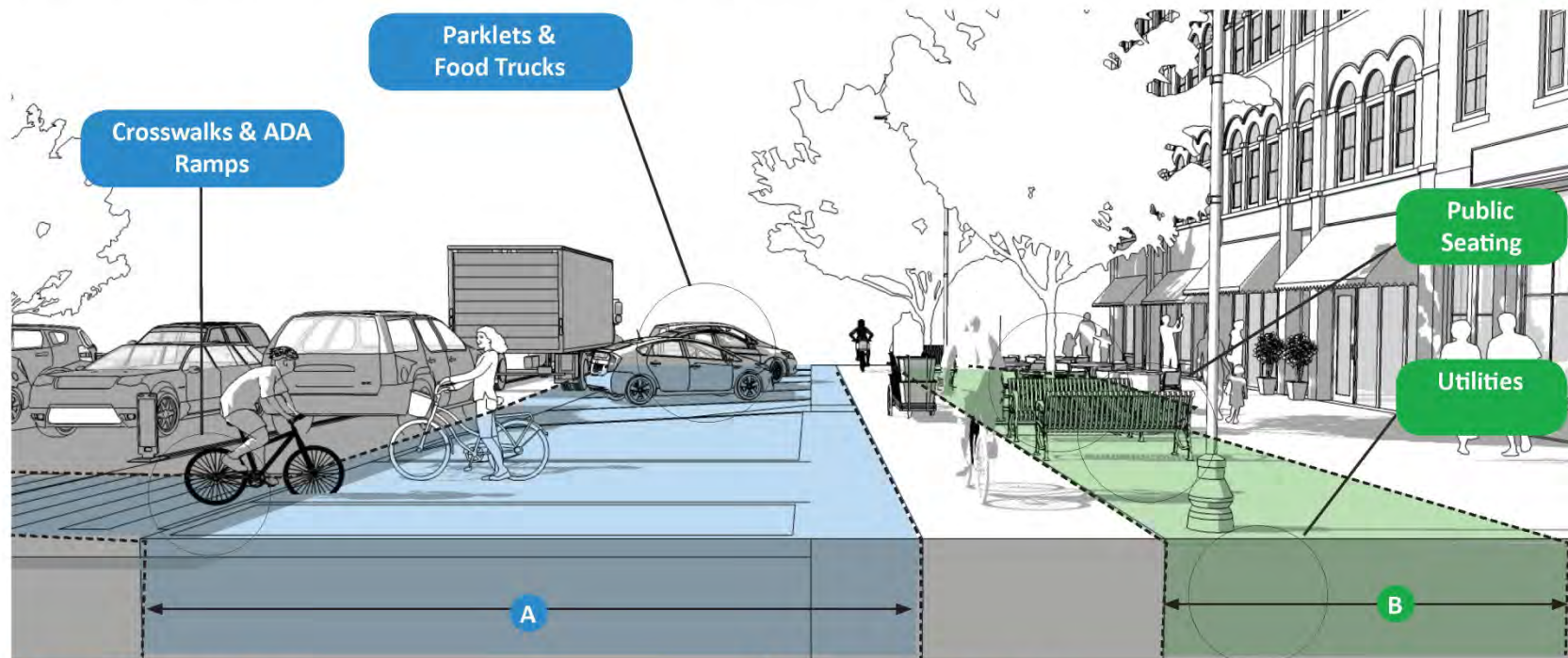
The frontage zone represents a the area in front of first floor shops and restaurants where pedestrians might pause--to read a menu, peer through a shop window, or wait for friends before entering a restaurant.

Components

Awnings
Café Seating
Planters & Window Boxes
Ramps, Steps and Terraces
Storefront Displays
Public Art
Bike Racks

} p. xx
} p. xx
} p. xx

Furnishing & Utility and Street Enhancement Zone | Main Street- Primary [MS-p]



Street Enhancement Zone

A Width Range 8' (min.)

Description

The street enhancement zone includes the potential pedestrian areas between the furnishing & utility zone and the edge of street and bicycle travel lanes. Components in this area include temporary uses like parklets and food truck, which take over parking spaces, and permanent components like stormwater infiltration areas and crosswalks.

Components

ADA ramp details	}	p. xx
Stormwater Infiltration		
Crosswalks	}	p. xx
Parklets		
Food trucks		
Exercise stations		

Furnishing & Utility Zone

B Width Range 2' (min.); 4' (min. for seating, cafe, bike racks)

Description

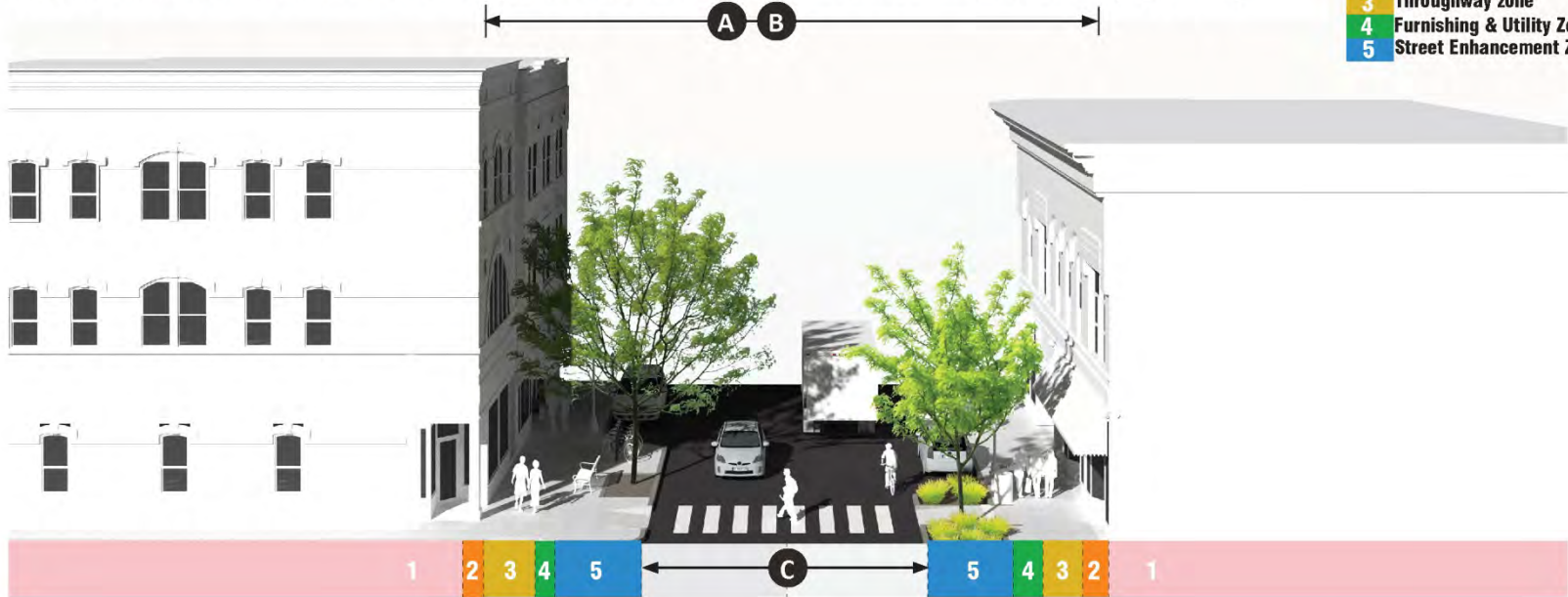
The furnishing and utility zone is the area of the sidewalk where pedestrians might pause or rest on benches or cafe seating and where many of the utilities, like lighting and hydrants, are located. This is the area typically planted with street trees.

Components

Tree Pit & Street Trees	}	p. xx
Public Seating		
Public Art Spaces	}	p. xx
Paving Details		
Pervious paving		
Stormwater Storage	}	p. xx
Cafe Seating		
Lighting Standards		
Utilities		
Bike Racks		

Public Realm Standards for Typical Block | Main Street- Secondary [MS-s]

- 1 Building
- 2 Frontage zone
- 3 Throughway zone
- 4 Furnishing & Utility Zone
- 5 Street Enhancement Zone



Description

This image represents an idealized, proposed secondary Main Street block. The existing right-of-way varies from 40' to 90', allowing room for new public realm elements, such as public seating, cafe spaces, and stormwater infiltration areas. The proposed sidewalk is divided into conceptual 'zones' by their typical use and components. These zones are further described on subsequent pages.

Parameter	Dimensional Range
A Enclosure (facade to facade)	40'-90'
B Right-of-Way	40'-90'
C Street Width (curb to curb)	24'-44'

Main St Secondary

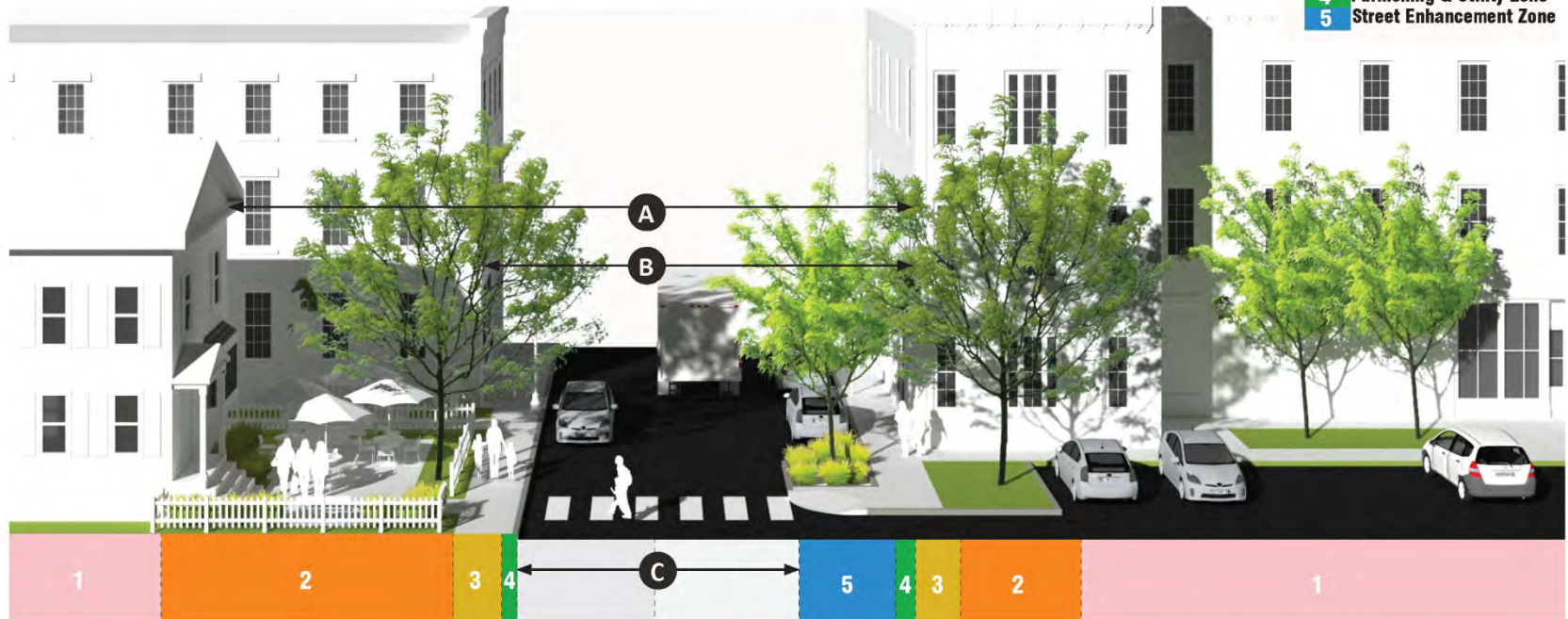


Main St Secondary Sidewalk



Public Realm Standards for Typical Block | Side Street [SS]

- 1 Building
- 2 Frontage zone
- 3 Throughway zone
- 4 Furnishing & Utility Zone
- 5 Street Enhancement Zone



Description

This image represents an idealized, proposed Side Street block with parallel parking, stormwater infiltration, a relatively narrow sidewalk, and a privately-owned forecourt. Existing Side Street right-of-ways vary from 30' to 50', allowing room for new public realm elements, such as public seating, cafe spaces, and stormwater infiltration areas. The proposed sidewalk is divided into conceptual 'zones' by their typical use and components. These zones are further described on subsequent pages.

Parameter	Dimensional Range
A Enclosure (facade to facade)	VARIES
B Right-of-Way	30' -50'
C Street Width (curb to curb)	24' -40'

Side Street

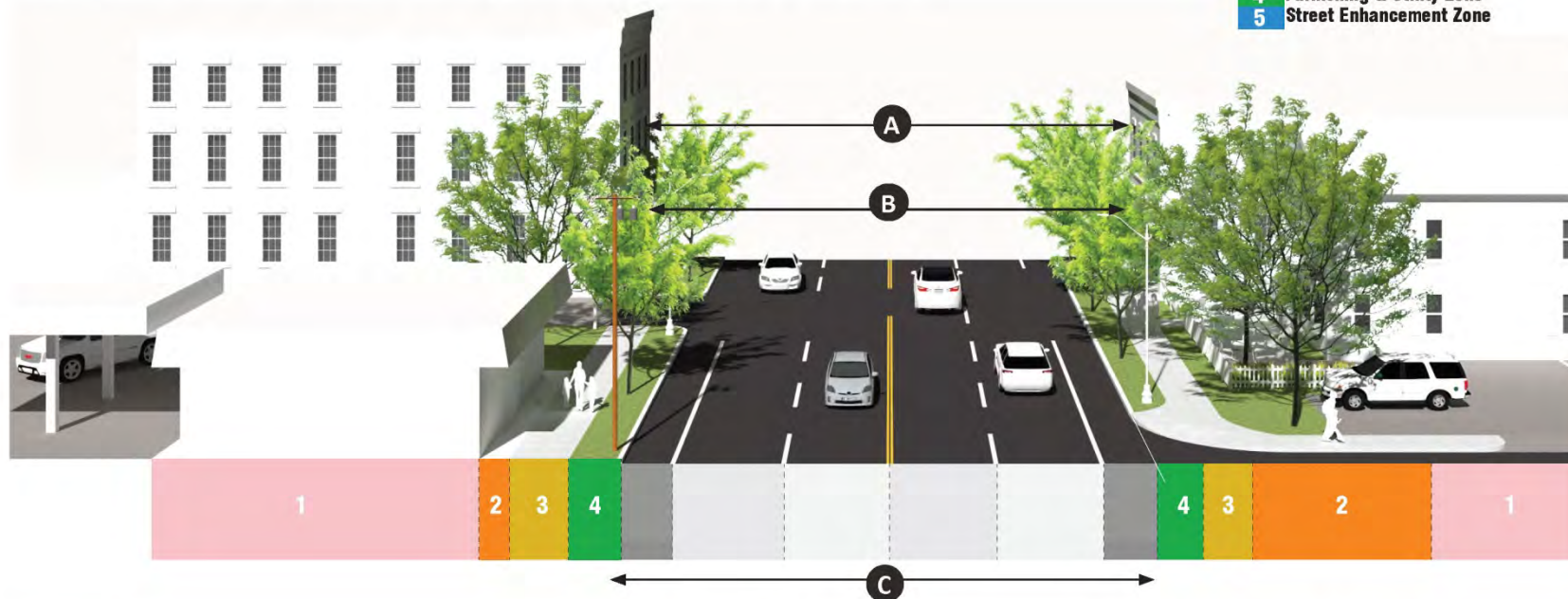


Side Street Sidewalk



Public Realm Standards for Typical Block | Gateway [G]

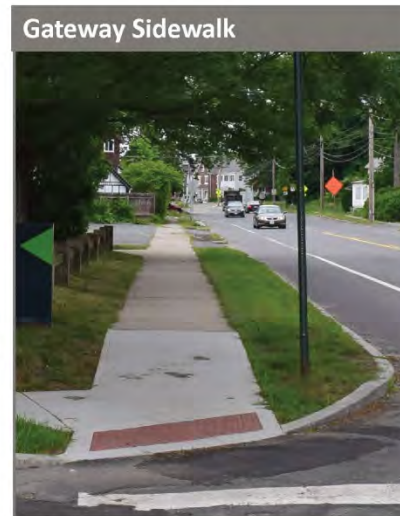
- 1 Building
- 2 Frontage zone
- 3 Throughway zone
- 4 Furnishing & Utility Zone
- 5 Street Enhancement Zone



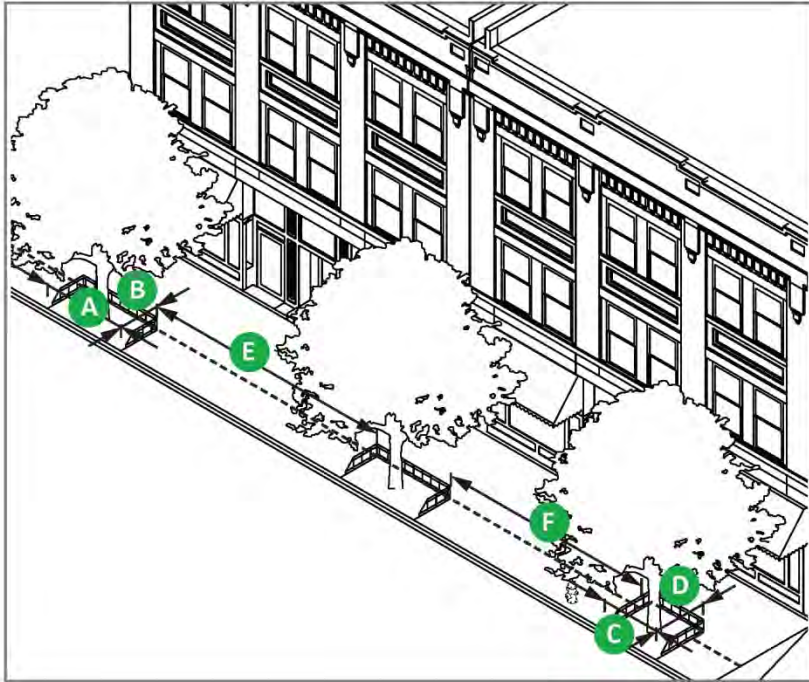
Description

This image represents an idealized, proposed Gateway block. Existing right-of-ways vary from 40' to 100', allowing room for new public realm elements, such as public seating, cafe spaces, and stormwater infiltration areas. The proposed sidewalk is divided into conceptual 'zones' by their typical use and components. These zones are further described on subsequent pages.

Parameter	Dimensional Range
A Enclosure (facade to facade)	46'-150'
B Right-of-Way	40'-100'
C Street Width (curb to curb)	36'-60'



Public Realm Component Standards | Street Trees & Tree Pits



Description

xx

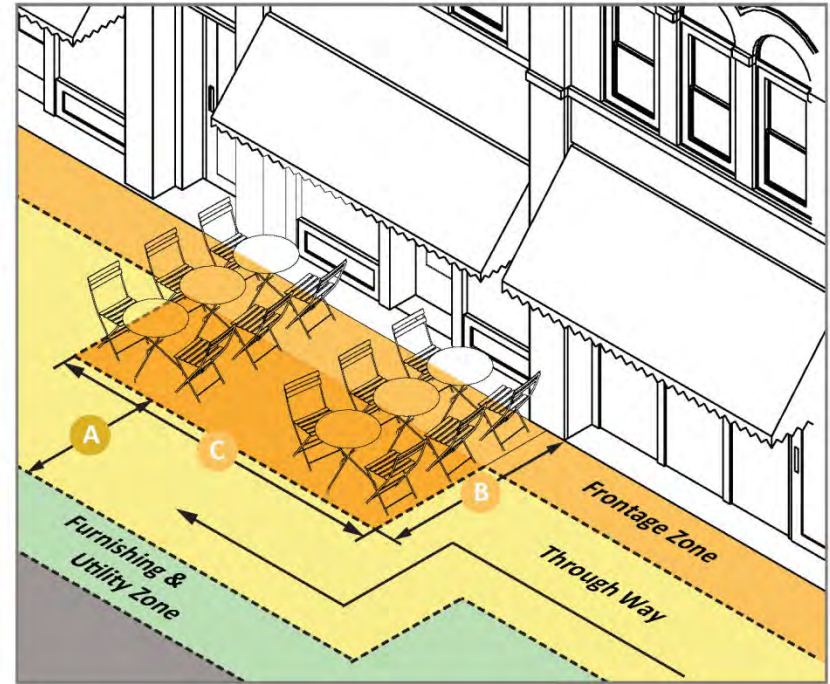
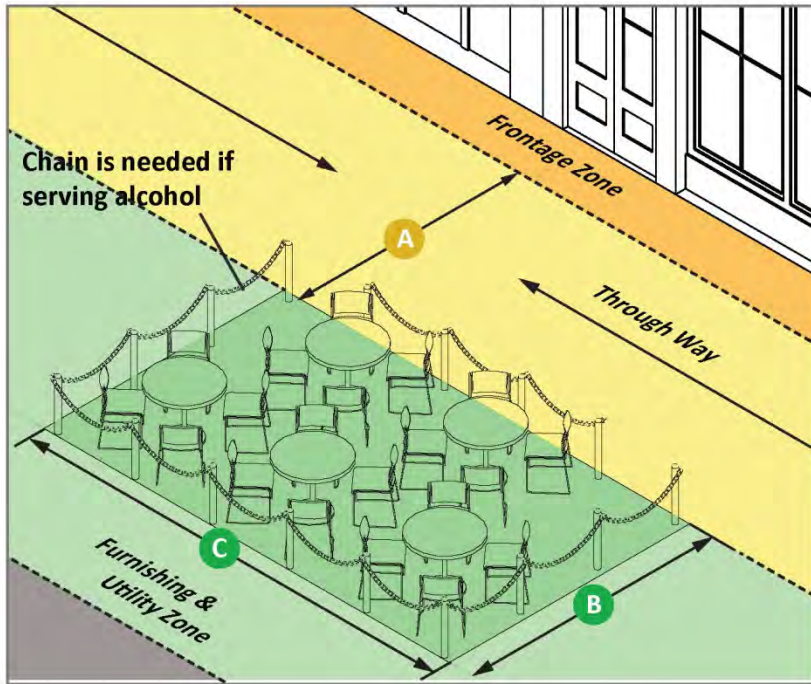
General Standards

- (1) Sidewalks must include street trees planted within the furnishing zone in a regularly-spaced allee pattern, with a recommended spacing of twenty to thirty (20 - 30) feet on center depending on species, and no greater than forty (40) feet on center. Along Frontage Zones, street trees may be planted in an irregularly-spaced allee pattern to avoid obscuring windows and signage. Tree trunks should not be placed in front of doorways or stairs.
- (2) When planted, street trees must be a minimum height of ten (10) feet and/or two (2) inches in caliper.
- (3) Recommended tree pit dimensions are five (5) feet wide (dimension perpendicular to curb) and ten (10) feet long (dimension along curb), for the area of exposed soil surrounding the tree. If this configuration is not possible due to site constraints, other tree pit configurations amounting to 50 square feet may be allowed. When level with an adjacent walkway, the soil area must be protected by eighteen (18) inch tall metal tree guard fencing. When recessed below an adjacent walkway, open soil areas must be protected by porous rubber tree pit surfacing.
- (4) Sidewalks in front of terminated vistas and along civic space frontage may be granted a waiver from street tree requirements at the discretion of the Planning Board.
- (5) Street Trees must be planted at least five (5) feet from fire hydrants, six (6) feet from street signs, seven (7) feet from curb cuts, and thirty (30) feet from stop signs. The edges of tree planting beds must be at least two (2) feet from gas, electric, water, and sewer lines, and at least four (4) feet from oil fill pipes.

Dimensional Standards

A	Tree Pit length	10'
B	Tree Pit width	5'
C D	Tree Pit alternative length and width	=50 SF
E	Maximum tree spacing (trunk to trunk)	40'
F	Recommended tree spacing (trunk to trunk)	20' - 30'
	Recommended soil volume	600 cubic feet (min) for small tree to 1000 cubic feet (min) for large tree

Public Realm Component Standards | Cafe Seating



Description

Outdoor Cafe seating is an area of seating and tables used by customers of an adjacent business or businesses.

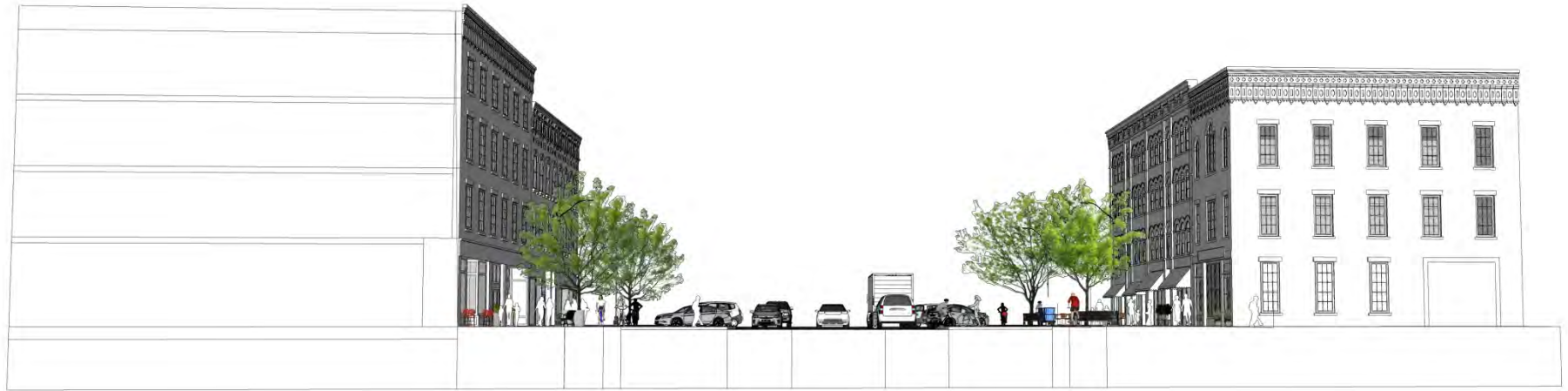
General Requirements

- (1) Outdoor cafe seating is permitted as an ancillary activity of any Eating & Drinking Establishment.
- (2) The operator of the outdoor cafe seating is responsible for the proper maintenance of the cafe area at all times, including proper disposal of all trash generated.
- (3) Outdoor cafe seating may be located in a Private Frontage Zone, Pedestrian Street, Public Frontage Zones, Furnishing Zone, or Parklets. Outdoor cafes within the Public Realm must receive an Encroachment Permit from City Council.

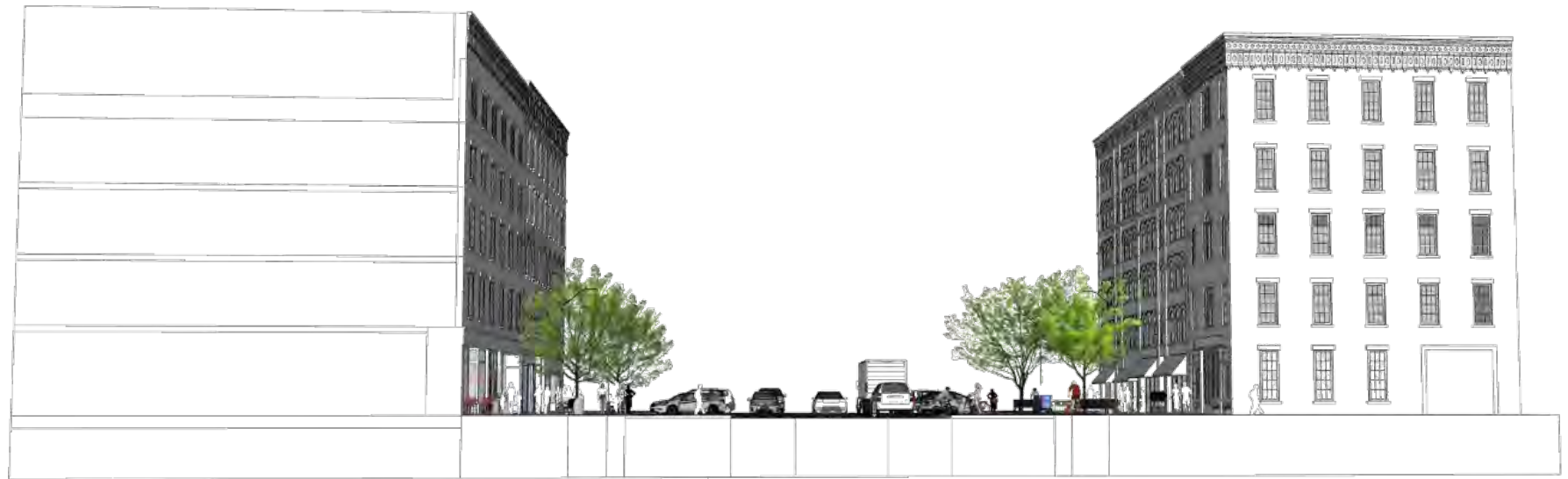
Dimensional Standards

A	Throughway Zone Width	5' minimum typical (4' minimum on Side Streets)
B	Cafe Seating Depth	6' minimum to 15' maximum from facade
C	Cafe Seating Length	Adjacent to and not extending beyond the establishment it serves
D	Width of Clear Path of Access to Entrance	4' minimum

Main Street-Primary, Typical Conditions



Main Street-Primary, Maximum Buildout



Main Street-Primary, Upper Floor Stepbacks



Main Street-Secondary, Typical Conditions



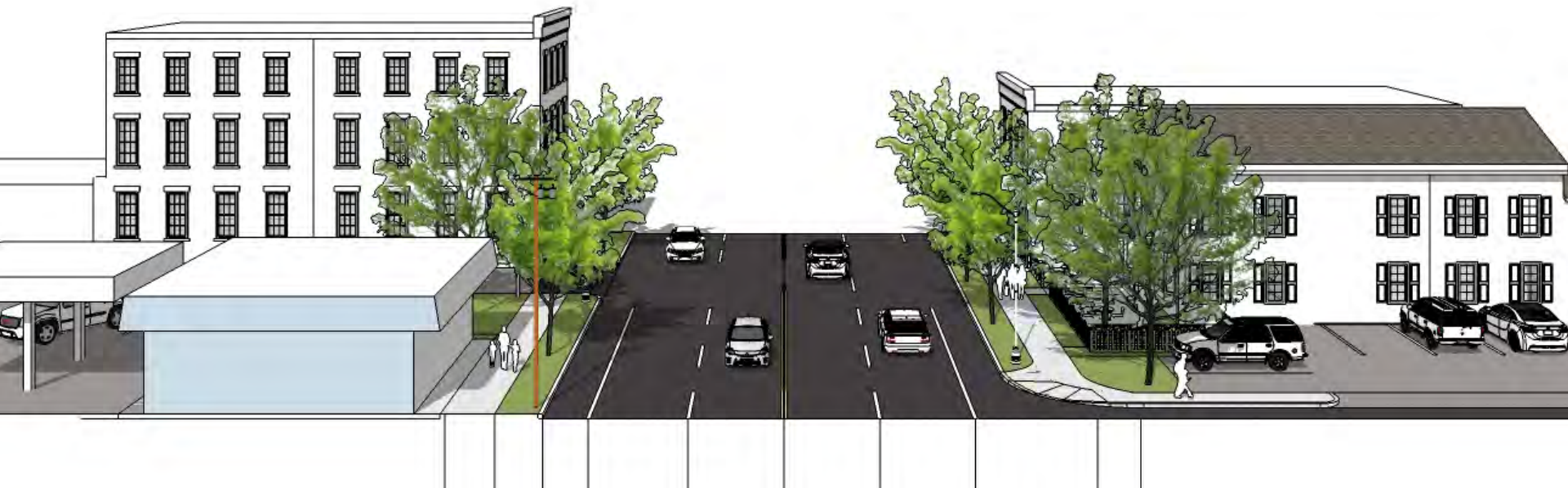
Main Street-Secondary, Maximum Buildout



Main Street-Secondary, Upper Floor Stepbacks



Gateway, Typical Conditions



Gateway, Maximum Buildout



Gateway, Upper Floor Stepbacks



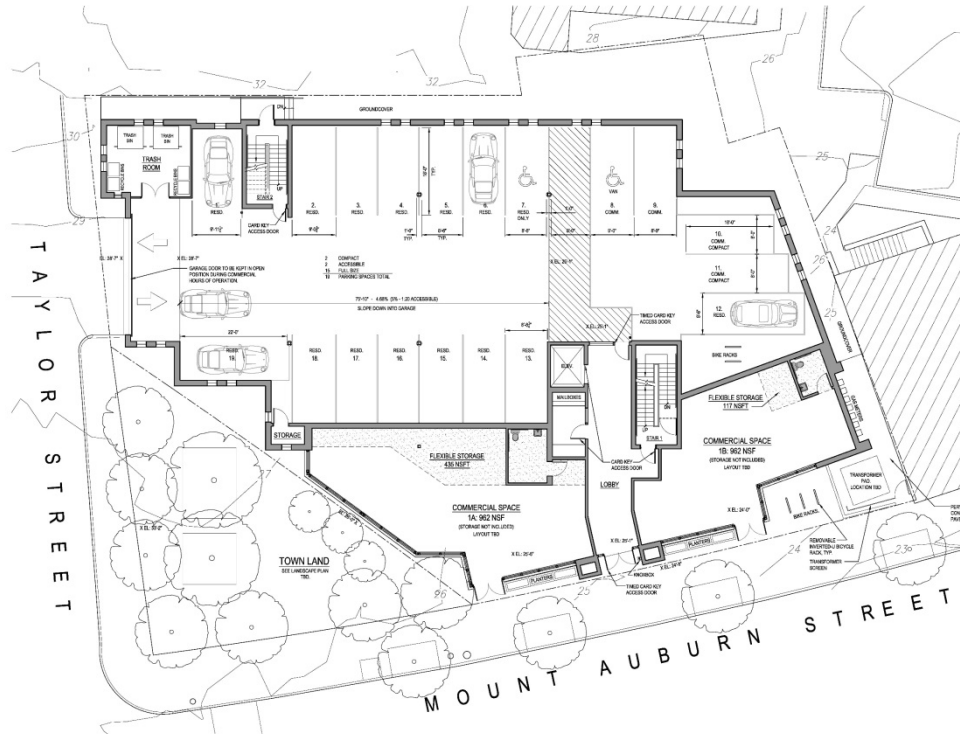
Amherst

Recent Development



Watertown

Recently Permitted





Blueback Square
West Hartford, CT



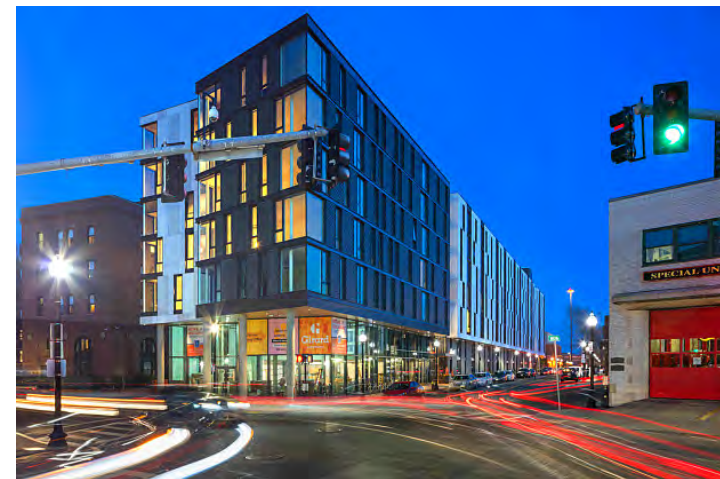
Braintree, MA
Landing 53
Recent Development



Roxbury



South End



South of Washington



Dudley Square

Boston, MA



Assembly Row, Somerville



Broadway, Saratoga Springs, NY



before



after



Lancaster, CA



Burlingame, CA



West Hartford, CT



Middletown, CT



Portsmouth, NH
Various streets

- **What are your responses to the work done to date?**
- **What is working and not working in the current downtown zoning and design guidelines?**
- **What trends, opportunities and challenges are impacting downtown? How should we account for those when crafting regulations?**

It is time for small group discussions!

Closing Questions

- **What are your goals for downtown—what is your long-term vision for downtown Northampton? How can zoning and design guidelines support that vision?**
- **Of the elements you discussed in the groups what is most important to include in revised regulations?**

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